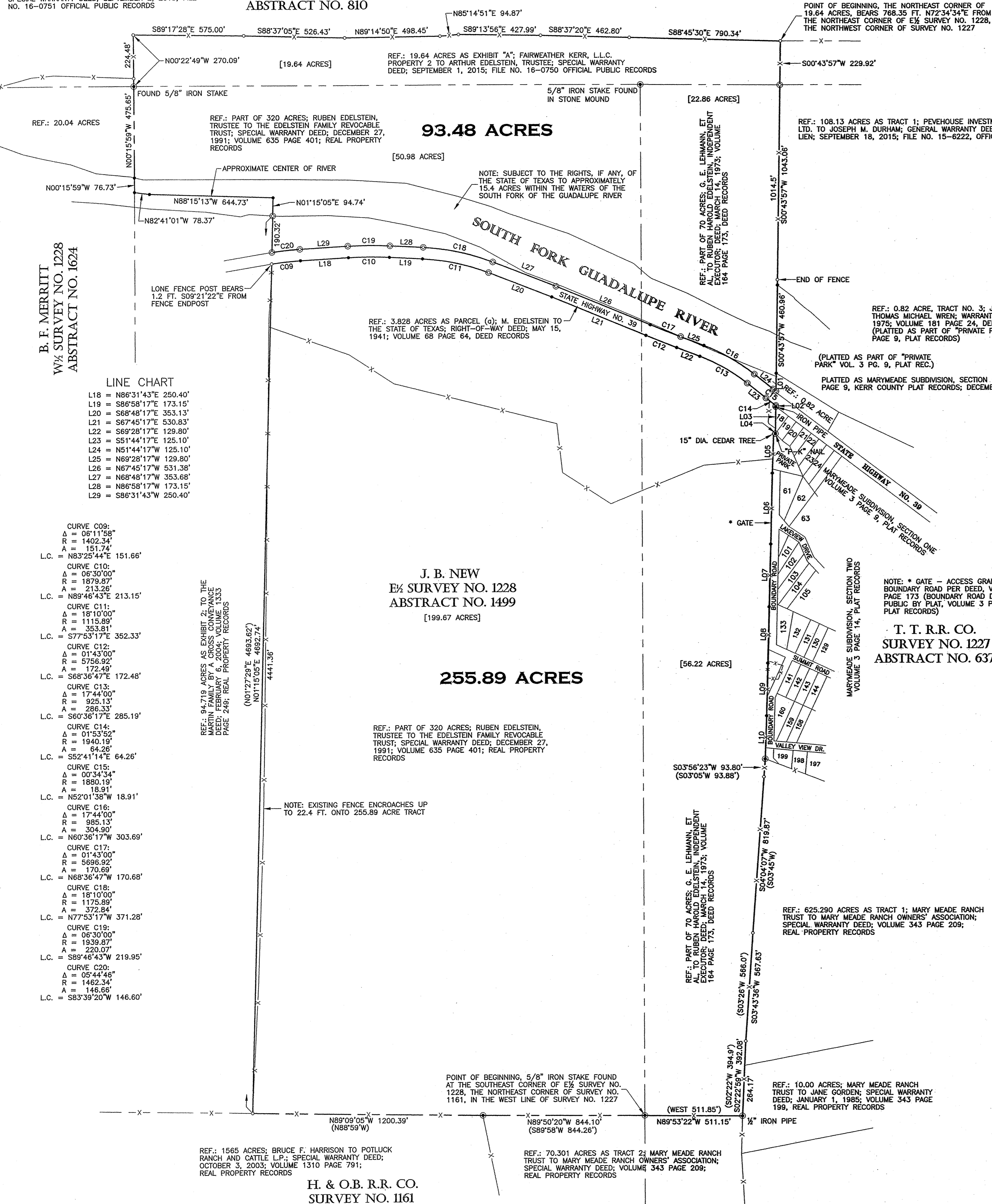


REF.: 20.04 ACRES, EXHIBIT "A", ARTHUR EDELSTEIN, TRUSTEE TO FAIRWEATHER KERR, L.L.C. PROPERTY 2; SPECIAL WARRANTY DEED, SEPTEMBER 2, 2015; FILE NO. 16-0751 OFFICIAL PUBLIC RECORDS

T. W. N. G. R.R. CO.
SURVEY NO. 1515
ABSTRACT NO. 810

REF.: REMAINDER OF 640 ACRES; JEANIE SCHAEFER BOEHM TO FAIRWEATHER REAL ESTATE, LTD.; GENERAL WARRANTY DEED; DECEMBER 15, 2009; VOLUME 1773 PAGE 200, OFFICIAL PUBLIC RECORDS



B. F. MERRITT
W 1/2 SURVEY NO. 1228
ABSTRACT NO. 1624

LINE CHART
L18 = N86°31'43"E 250.40'
L19 = S86°58'17"E 173.15'
L20 = S68°48'17"E 353.13'
L21 = S67°45'17"E 530.83'
L22 = S69°28'17"E 129.80'
L23 = S51°44'17"E 125.10'
L24 = N51°44'17"W 125.10'
L25 = N69°28'17"W 129.80'
L26 = N67°45'17"W 531.38'
L27 = N86°48'17"W 353.68'
L28 = N86°58'17"W 173.15'
L29 = S86°31'43"W 250.40'

CURVE C09:
Δ = 06°11'58"
R = 1402.34'
A = 151.74'
L.C. = N83°25'44"E 151.66'

CURVE C10:
Δ = 06°30'00"
R = 1879.87'
A = 213.26'
L.C. = N89°46'43"E 213.15'

CURVE C11:
Δ = 18°10'00"
R = 1115.89'
A = 353.81'
L.C. = S77°53'17"E 352.33'

CURVE C12:
Δ = 01°43'00"
R = 5755.92'
A = 172.49'
L.C. = S68°36'47"E 172.48'

CURVE C13:
Δ = 17°44'00"
R = 925.13'
A = 286.33'
L.C. = S60°38'17"E 285.19'

CURVE C14:
Δ = 01°15'00"
R = 1940.19'
A = 84.26'
L.C. = S52°41'14"E 84.26'

CURVE C15:
Δ = 00°34'34"
R = 1880.19'
A = 18.91'
L.C. = N52°01'38"W 18.91'

CURVE C16:
Δ = 17°44'00"
R = 985.13'
A = 304.90'
L.C. = N60°38'17"W 303.69'

CURVE C17:
Δ = 01°43'00"
R = 5696.92'
A = 170.69'
L.C. = N89°38'47"W 170.68'

CURVE C18:
Δ = 18°10'00"
R = 1175.89'
A = 372.84'
L.C. = N77°53'17"W 371.28'

CURVE C19:
Δ = 06°30'00"
R = 1939.87'
A = 220.07'
L.C. = S89°46'43"W 219.95'

CURVE C20:
Δ = 05°44'46"
R = 1462.34'
A = 146.66'
L.C. = S83°39'20"W 146.60'

REF.: 94.719 ACRES AS EXHIBIT 2; TO THE MARTIN FAMILY BY A CROSS CONVEYANCE DEED; DECEMBER 24, 1991; REAL PROPERTY RECORDS

NOTE: EXISTING FENCE ENCLOSES UP TO 22.4 FT. ONTO 255.89 ACRE TRACT

REF.: 1565 ACRES; BRUCE F. HARRISON TO POTLUCK RANCH AND CATTLE L.P.; SPECIAL WARRANTY DEED; OCTOBER 3, 2003; VOLUME 1310 PAGE 791; REAL PROPERTY RECORDS

H. & O.B. R.R. CO.
SURVEY NO. 1161
ABSTRACT NO. 571

J. B. NEW
E 1/2 SURVEY NO. 1228
ABSTRACT NO. 1499
[189.67 ACRES]

REF.: PART OF 320 ACRES; RUBEN EDELSTEIN, TRUSTEE TO THE EDELSTEIN FAMILY REVOCABLE TRUST; SPECIAL WARRANTY DEED; DECEMBER 27, 1991; VOLUME 635 PAGE 401; REAL PROPERTY RECORDS

POINT OF BEGINNING, 5/8" IRON STAKE FOUND AT THE SOUTHEAST CORNER OF E 1/2 SURVEY NO. 1161, IN THE WEST LINE OF SURVEY NO. 1227

REF.: 70.301 ACRES AS TRACT 2; MARY MEADE RANCH TRUST TO MARY MEADE RANCH OWNERS' ASSOCIATION; SPECIAL WARRANTY DEED; VOLUME 343 PAGE 209; REAL PROPERTY RECORDS

93.48 ACRES

255.89 ACRES

REF.: PART OF 70 ACRES; C. E. LEHMANN, ET AL. TO MARY MEADE RANCH OWNERS' ASSOCIATION; SPECIAL WARRANTY DEED; MARCH 14, 1973; VOLUME 164 PAGE 173; DEED RECORDS

REF.: PART OF 70 ACRES; C. E. LEHMANN, ET AL. TO MARY MEADE RANCH OWNERS' ASSOCIATION; SPECIAL WARRANTY DEED; MARCH 14, 1973; VOLUME 164 PAGE 173; DEED RECORDS

REF.: 625.290 ACRES AS TRACT 1; MARY MEADE RANCH TRUST TO MARY MEADE RANCH OWNERS' ASSOCIATION; SPECIAL WARRANTY DEED; VOLUME 343 PAGE 209; REAL PROPERTY RECORDS

REF.: 10.00 ACRES; MARY MEADE RANCH TRUST TO JANE GORDEN; SPECIAL WARRANTY DEED; JANUARY 1, 1985; VOLUME 343 PAGE 199; REAL PROPERTY RECORDS

REF.: 0.82 ACRE, TRACT NO. 3; JOHN F. JOBS TO THOMAS MICHAEL WREN; WARRANTY DEED; JULY 11, 1975; VOLUME 181 PAGE 24; DEED RECORDS (PLATTED AS PART OF "PRIVATE PARK" VOLUME 3 PAGE 9, PLAT RECORDS)

T. T. R.R. CO.
SURVEY NO. 1227
ABSTRACT NO. 637

NOTE: * GATE - ACCESS GRANTED FROM BOUNDARY ROAD PER DEED, VOLUME 164 PAGE 173 (BOUNDARY ROAD DEDICATED TO PUBLIC BY PLAT, VOLUME 3 PAGE 14, PLAT RECORDS)

POINT OF BEGINNING, THE NORTHEAST CORNER OF 19.64 ACRES, BEARS 768.35 FT. N72°34'34"E FROM THE NORTHEAST CORNER OF E 1/2 SURVEY NO. 1228, THE NORTHWEST CORNER OF SURVEY NO. 1227

LINE CHART
L01 = S00°43'57"W 93.69'
L02 = S00°43'57"W 6.22' (S00°33'W)
L03 = S00°42'21"W 141.33' (S00°33'W 140.7')
L04 = S85°12'37"W 9.47' (S87°24'W 11.0')
L05 = S01°54'05"W 206.33' (S02°20'W 207.0')
L06 = S01°17'01"W 372.89' (S01°W 374.1')
L07 = S01°27'36"W 326.74' (S01°20'W 327.8')
L08 = S01°19'48"W 294.74' (S01°30'W 295.7')
L09 = S01°15'08"W 275.80' (S00°45'W 276.7')
L10 = S01°58'12"W 224.46' (S03°45'W 225.4')

SCALE: 1" = 300'

○ FENCEPOST
● FOUND 1/8" IRON STAKE UNLESS SHOWN OTHERWISE
⊙ SET 1/2" IRON STAKE UNMARKED POINT
- - - FENCE LINE
- - - APPROXIMATE PATENT SURVEY LINE
RECORD CALLS SHOWN IN PARENTHESES

NOTE: ALL SET 1/2" IRON STAKES MARKED WITH RED PLASTIC CAP INSCRIBED WITH "VOELKEL SURVEYING"

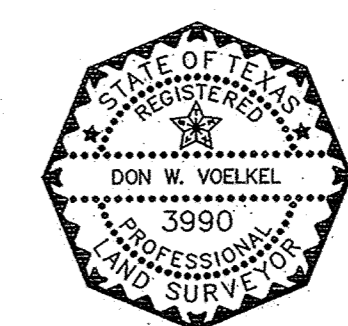
NOTE: THE LOCATION OF THE ORIGINAL SURVEY LINES AND CORNERS SHOWN HEREON IS BASED ON RECORD INFORMATION. ADDITIONAL FIELD FINDINGS OF EVIDENCE OF THESE SURVEYS COULD AFFECT THE LOCATIONS OF THESE LINES.

NOTE: THE LOCATION OF THE RIGHT-OF-WAY LINES OF STATE HIGHWAY NO. 39 IS BASED ON RECORD INFORMATION. NO EVIDENCE OF MONUMENTATION OF THESE LINES WAS FOUND.

I hereby certify that this plat and accompanying field notes descriptions are accurate representations of the property shown and described hereon as determined by a survey made on the ground under my direction and supervision, and that all property corners are marked as shown.
(Bearing basis = True north based on GPS observations)

Date surveyed: April 17-19, 2017
Dated this 23rd day of June, 2017

Don W. Voelkel
Don W. Voelkel
Registered Professional Land Surveyor No. 3990



SURVEY PLAT FOR 1721.38 ACRES OF LAND, MORE OR LESS, COMPRISING APPROXIMATE ACREAGE OUT OF VARIOUS ORIGINAL PATENT SURVEYS, AS SHOWN HEREON IN BRACKETS, IN KERR COUNTY, TEXAS; BEING PARTS OF THE LAND CONVEYED TO THE EDELSTEIN FAMILY, DEEDS REFERENCED HEREON, IN KERR COUNTY, TEXAS

JUNE 2017

VOELKEL
LAND SURVEYING, PLLC
212 CLAY STREET, KERRVILLE, TEXAS 76088, 352-257-3313
FIRM REGISTRATION NO. 100228-00

DATE: JUNE 2017
JOB NO: V-17-5559
BY: DWV
SHEET: 07