

# BUILDING A FUTURE

YOUR HOME PACKET



BROUGHT TO YOU BY:  
LAND USE OFFICE / BUILDING DEPARTMENT



## Alamosa County Department of Building Safety Checklist for RESIDENTIAL CONSTRUCTION

Project Address: \_\_\_\_\_ Date: \_\_\_\_\_

Property Owner Name: \_\_\_\_\_

***THIS CHECKLIST MUST BE COMPLETED & SUBMITTED WHEN FILING A PERMIT APPLICATION.  
ALL ITEMS CHECKED [R] MUST BE SUBMITTED TO THIS OFFICE TO  
CONTINUE PROCESSING YOUR APPLICATION.***

**[R] = REQUIRED      [NR] = NOT REQUIRED**

**[R] [NR] 1. Application form**

- Completed application form

**[R] [NR] 2. Two (2) sets of Construction Drawings (Colorado registered design professional stamp is NOT required)**

- 11"x17" minimum
- Follow the minimum requirements for plan review handout sheet
- The drawings must be legible and to scale

**[R] [NR] 3. Floor Plan and Elevations of the Building**

- Must be Legible and to Scale

**[R] [NR] 4. Two (2) plot plans (Must be to scale and legible)**

- 11"x17" minimum
- Site orientation (North arrow and scale of drawing)
- Property address
- Length of lot lines and property description
- Location, shape and size of structures proposed for construction
- Location and size of existing structures and the distance between them
- Location and dimensions of the driveway or access to the property
- Show the utility service location (gas, water, and electrical)
- Show the location of the wells and septic systems
- Show setback dimensions required by the zoning ordinance.
- Show the dimensions of the proposed setbacks.
- Show the existing water features such as drainage, swales and creeks
- Show easements
- Show and label roads and streets

**[R] [NR] 5. Copy of Onsite Wastewater Treatment System (OWTS) Permit or Letter from Service Provider (CHECK ONE)**

- Alamosa County OWTS
- Mosca General Improvement District
- East Alamosa Water and Sanitation
- City of Alamosa
- Pre-Existing

- [R] [NR] 6. Proof of Adequate Water Supply (CHECK ONE)**
- Well Permit from (DWR) (form GWS-25) No. \_\_\_\_\_
  - Completed Water Well Application (form GWS-44) No. \_\_\_\_\_
  - Registration of Existing Well Application (form GWS-12) No. \_\_\_\_\_
  - Approval for Augmented Water (SLVWCD) AGREEMENT AND AUGMENTATION CERTIFICATION
  - Approval letter from East Alamosa Water and Sanitation (EAWS)
  - Other \_\_\_\_\_
- [R] [NR] 7. Special Use Permit**
- Special Use Permit Approval (or Resolution if available)
- [R] [NR] 8. Copy of Home Owners Association Approval**
- HOA Letter of Approval
- [R] [NR] 9. Access and Address Permit**
- Existing Drive Way with Address
- [R] [NR]**  A New Address must be issued for vacant land  
List the Address \_\_\_\_\_
- [R] [NR]**  An Access or Driveway Permit  
County Department (719-589-6262) or CDOT (970-385-3624)
- [R] [NR] 10. Proof of Ownership (CHECK ONE)**
- Warranty Deed
  - Deed of Trust
  - Assessor Records
- [R] [NR] 11. RES-Check Compliance Certificate**
- Compliance Certificate

**ITEMS #12-19 TO BE COMPLETED BY DEPARTMENT STAFF**

**12. Elevation Certificate**

- Zone: A\_\_ AE\_\_ AO\_\_ A99\_\_ V\_\_ VE\_\_ X\_\_ D\_\_
- Panel No. 080009 0045 B
- Small Farms Sub-division Sec. 25 & 25 T. 38 N., R. 9 E.
- Sierra Blanca Estates Sec. 21 T. 37 N., R. 10 E.
- Sec. 19, 20, 21, 28, 29, 30 T. 37 N., R. 10 E.
- North Zapata Creek & South Zapata Creek

**13. Zoning District:** RU\_\_ RE\_\_ RL\_\_ RM\_\_ RH\_\_ RMH\_\_ C\_\_ I\_\_

**14. Setbacks Required:** Front (\_\_\_') R-Side (\_\_\_') L-Side (\_\_\_') Rear (\_\_\_')  
Ht. (\_\_\_') Percent Coverage of Lot Allowed \_\_\_\_\_%

**15. Staff Member Accepting Application:** (Initials) \_\_\_\_\_ Date \_\_\_\_\_

**16. P & Z Staff Approval By:** \_\_\_\_\_ Date \_\_\_\_\_

**17. Final Approval:** Date: \_\_\_\_\_

**18. Temporary Certificate of Occupancy Issued.** Date: \_\_\_\_\_

**19. Certificate of Occupancy Issued:** Date: \_\_\_\_\_



## Application for Building Permit

ALAMOSA COUNTY DEPARTMENT OF BUILDING SAFETY 8999 INDEPENDENCE WAY ALAMOSA CO. 81101 PH 719-589-3812

Date of Application:		Expires:		<b>Application No.</b>				
(Date)		(Date)		Other Permit Number				
(Road or Street No.)		( Road or Street Name)		(City)				
( Zip)								
<b>Project Address:</b>								
Property Owner:			Contractor:					
Mailing Address:			Mailing Address:					
City/State/Zip:			City/State/Zip:					
Phone Number:			Phone Number:					
Installer:			Engineer:					
Mailing Address:			Address:					
City/State/Zip:			City/State/Zip:					
Phone Number:			Phone Number:					
Registration Number:			License Number:					
<b>Property Information: (Describe)</b>								
Parcel Identification No.				Parcel Size:				
Quarter Section:		Sec:		Twn:				
Subdivision:		Block:		Rng:				
Unit:		Lot:		Tract:				
Subdivision Name:				Zoning District:				
<b>Describe Work:</b>				Cost of Foundation:				
				Cost of Home:				
				<b>Valuation of Work:</b>				
<b>Use:(x)</b>			<b>Type of Project: (x)</b>					
Residential	New	Re-roofing	Pvt Garage	Pole Blding				
Commercial	Used	Foundation	Attached	Strct Steel				
Industrial	Addition	Framing	Detached	Car Port				
Accessory	Alteration	Chg of Use	Dwelling	Patio				
Mfd Home	Move/ Demo	Other	Stg/Utility	Other				
<b>Dimensions:</b>		W X L (ft)	Sq. Ft.	Height (ft)	Stories			
<b>Manufactured Home:(x)</b>			<b>Setbacks: Required Proposed</b>					
Multi-Sec.	Year Mfd	Ladder,Skirt&tie,	Front (ft.)					
Single-Sec.	Make	Footer/Stem Wall	Right (ft.)					
IRC	No. Bdrms	Footer/ CMU	Left (ft.)					
HUD	No Bathrm	Monolithic	Rear (ft.)					
Water Source/ Pub/Priv:	Primary Heat Source		Vacant Lnd.					
Sewer System /Pub/Priv:	Electrical Grid On/Off:		<b>(To be completed by Office Staff)</b>					
<b>Additional Permits Required: (Y/N)</b>			Building Code: IRC/ IBC					
Sewer Permit: (Y/ N)	Proof of Water: (Y/ N)		Classification Group:					
Access Permit: (Y/ N)	Plumbing Permit: (Y/ N)		Construction Type:					
Flood Elev. Cert: (Y/ N)	Electrical Permit: (Y/ N)		Building Code Version					
	Demolition Permit: (Y/ N)		Flood Zone Area:(A,D,X)					
<b>NOTICE: READ BEFORE SIGNING</b>			<b>Valuation:</b>					
<small>SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL AND PLUMBING AND MUST BE ISSUED BY THE STATE OF COLORADO. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF 365 DAYS AT ANY TIME AFTER WORK IS COMMENCED. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.</small>			<b>Permit Fee:</b>					
			Receipt No.			<b>Total Fees:</b>		
			Signature of Owner/ Contractor			Date		
Signature of Department Staff			Date					
			Zoning Approved By:					
			BP Approved Issuance By:					
			(Work Description Coding-Office Staff)					

# Residential Construction Drawings – Minimum Requirements

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CONSTRUCTION DRAWINGS MUST INCLUDE THE FOLLOWING:

**A. All typical section views:**

- a. Footer, Stem Wall, re-bar (reinforcing steel) Sills, Joists, Studs, Headers (window and doors) Rafters, or Trusses, type of roofing material, pitch of the roof and roof and crawl space venting.

**B. Foundations:**

- a. Size and depth of the footer and stem walls, reinforcing steel, spacing of the anchor bolts and size, size of the piers and pads and the thickness of the slabs, vapor barriers and crawl space vents.

**C. Floor Plans:**

- a. Show room dimensions, room description, window sizes and type.

**D. Framing Plans:**

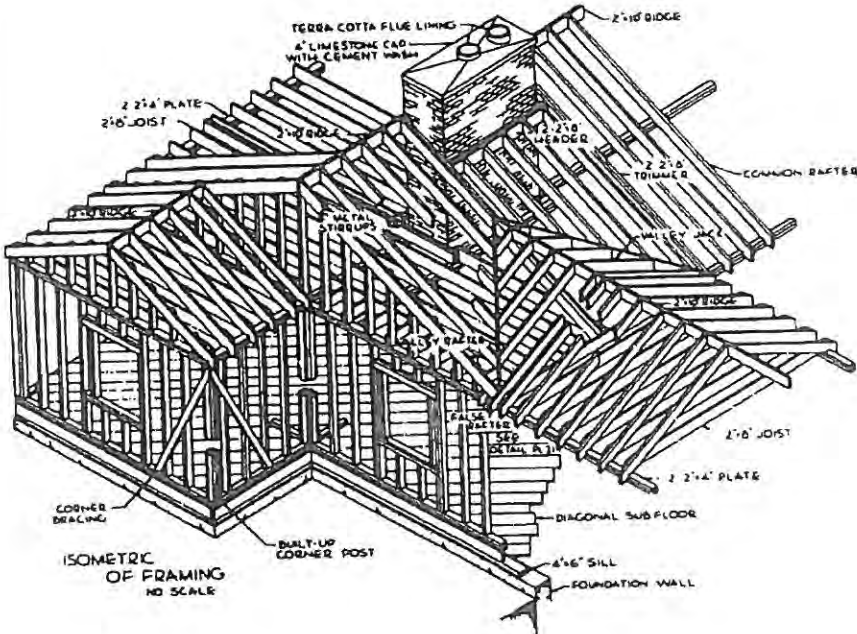
- a. Floor: Size, grade, spacing , span, and type of wood used.
- b. Beams and Headers: Location, spans, bearing location, size and grade and type of wood used.
- c. Roof: Engineered trusses (plans) or size of the rafters spacing, span, and type of wood used. (All trusses and engineered wood products to be used require a manufactured design and the specs attached to the plans).
- d. Elevation Views: Front, Sides, and Rear.

An Isometric or Perspective Drawing provides a three-dimensional view of the building.

### Isometric drawings

To help the builder visualize what the various elements of the proposed construction should look like, a designer may provide an **isometric drawing** (Figure 33). An isometric or perspective drawing provides a three-dimensional view of the building. There is no scale for an isometric drawing.

Although a building can be visualized better through an isometric drawing, it is rarely used except for plumbing plans. In plumbing plans, isometric drawings are used to indicate the vertical components of water supply and waste piping diagrams. Remember that the purpose of most other isometric drawings is to show how various elements of proposed construction will look. They should not be used for enforcement purposes.



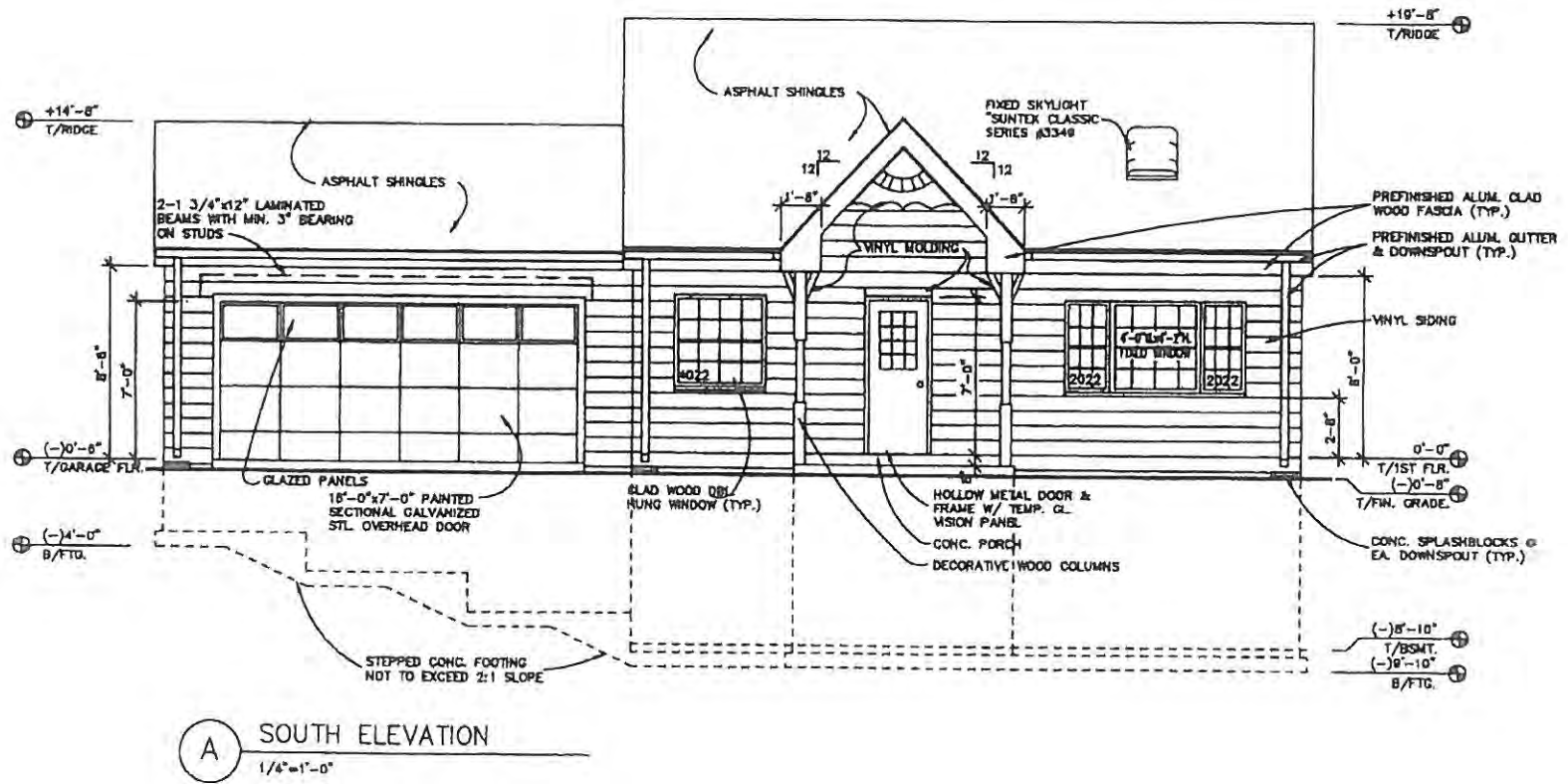
From ARCHITECTURAL DRAFTING by William J. Hornung © 1971 by Prentice-Hall, Inc., Englewood Cliffs, N.J. Reprinted by permission

Figure 33. Isometric drawing of building framing

NOT FOR CONSTRUCTION

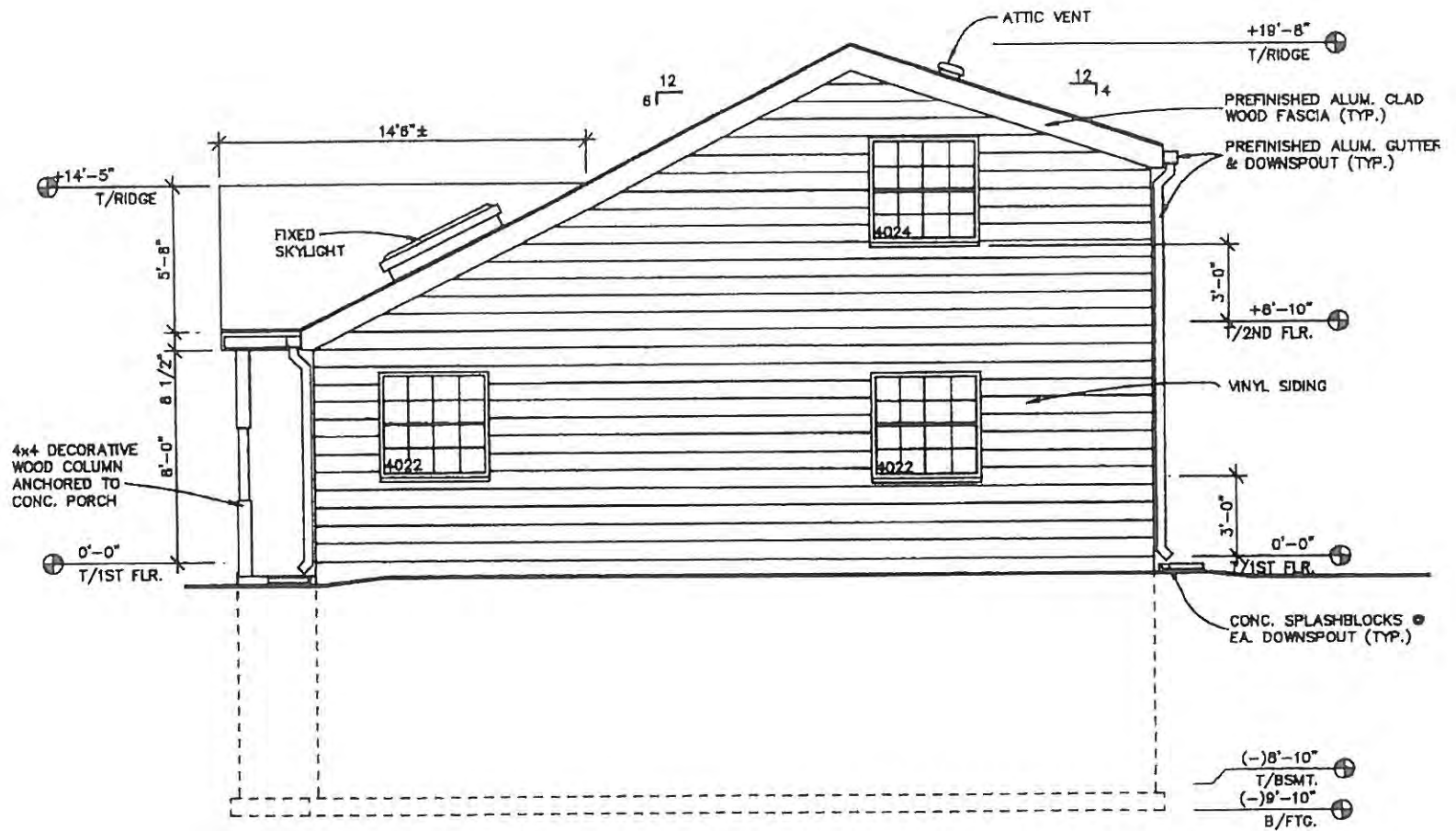


Figure 26. Front exterior elevation view (south)



NOT FOR CONSTRUCTION

Figure 28. Side exterior elevation view (east)

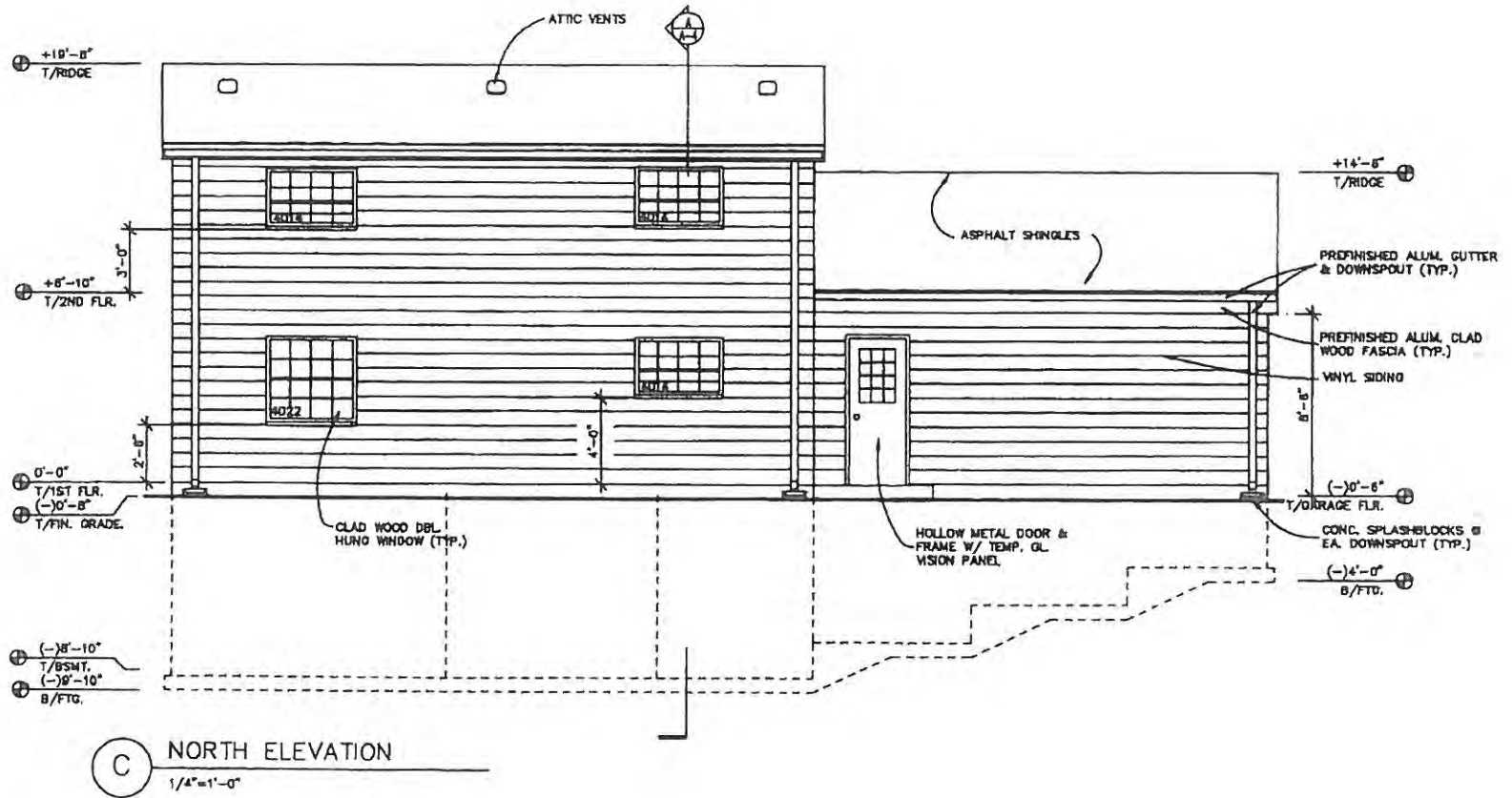


**B** EAST ELEVATION  
1/4" = 1'-0"

NOT FOR CONSTRUCTION

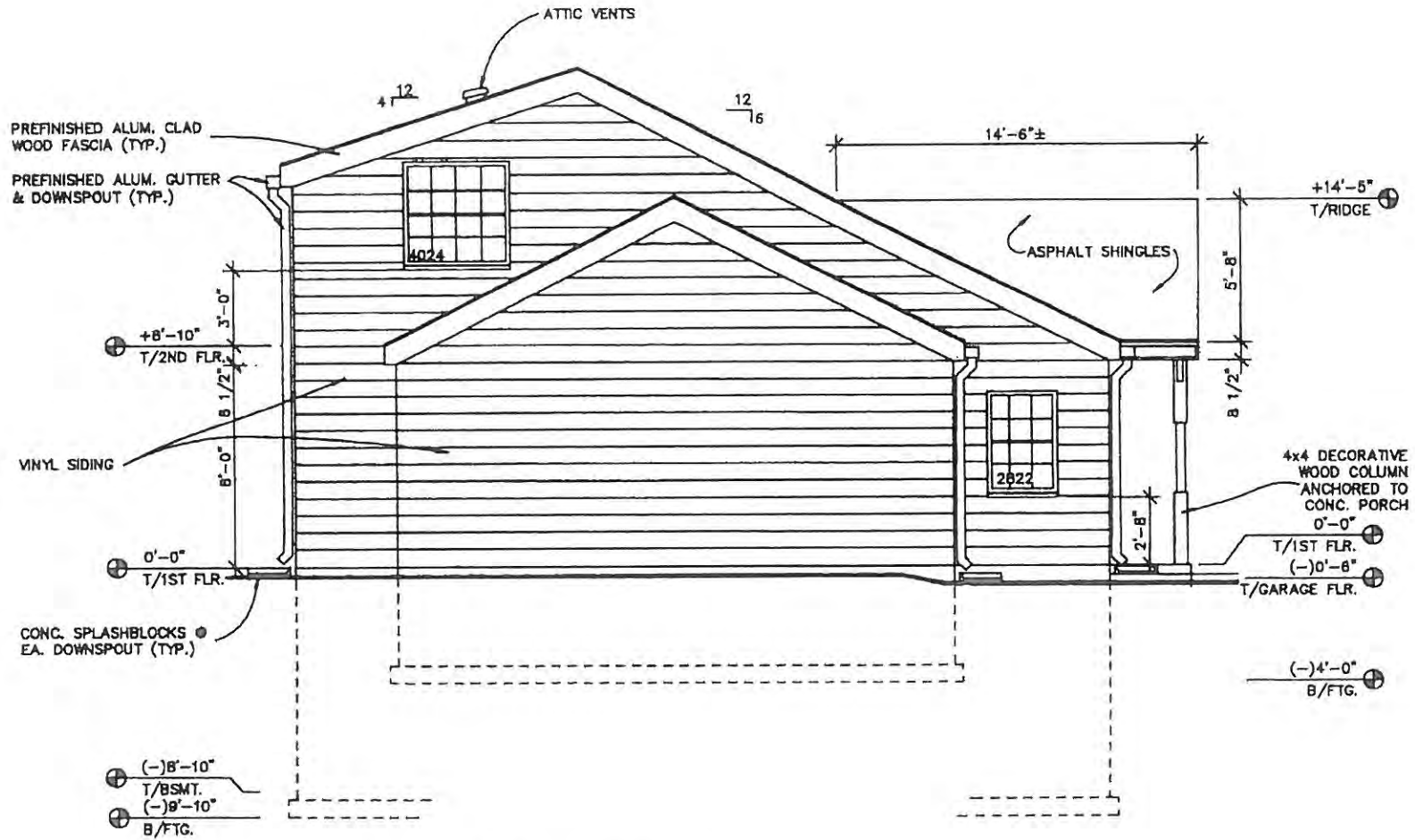


Figure 27. Rear exterior elevation view (north)



NOT FOR CONSTRUCTION

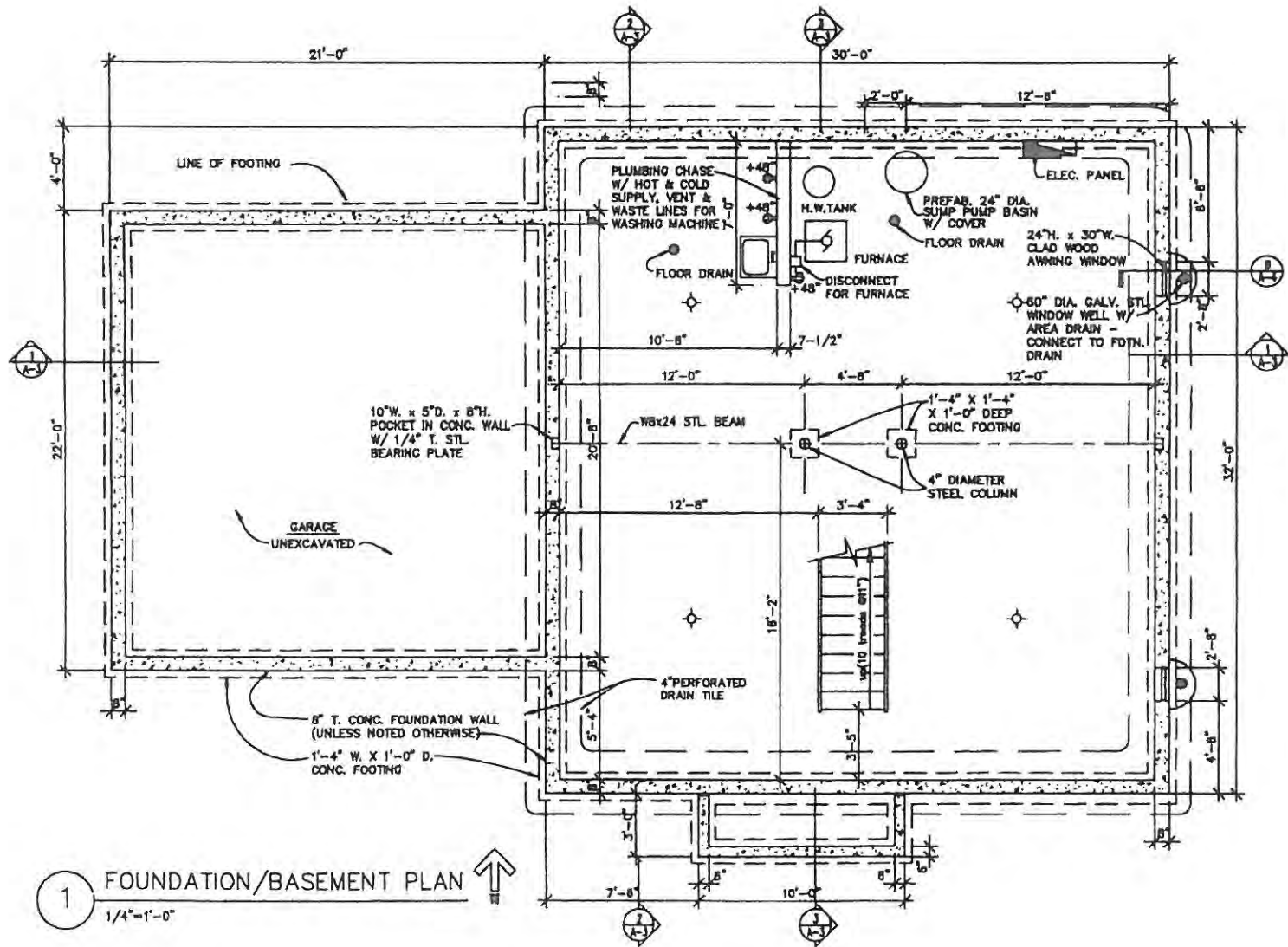
Figure 29. Side exterior elevation view (west)



D WEST ELEVATION  
1/4"=1'-0"

NOT FOR CONSTRUCTION

Figure 35. Foundation/basement plan



NOT FOR CONSTRUCTION

Figure 25. Floor plan (plan view)

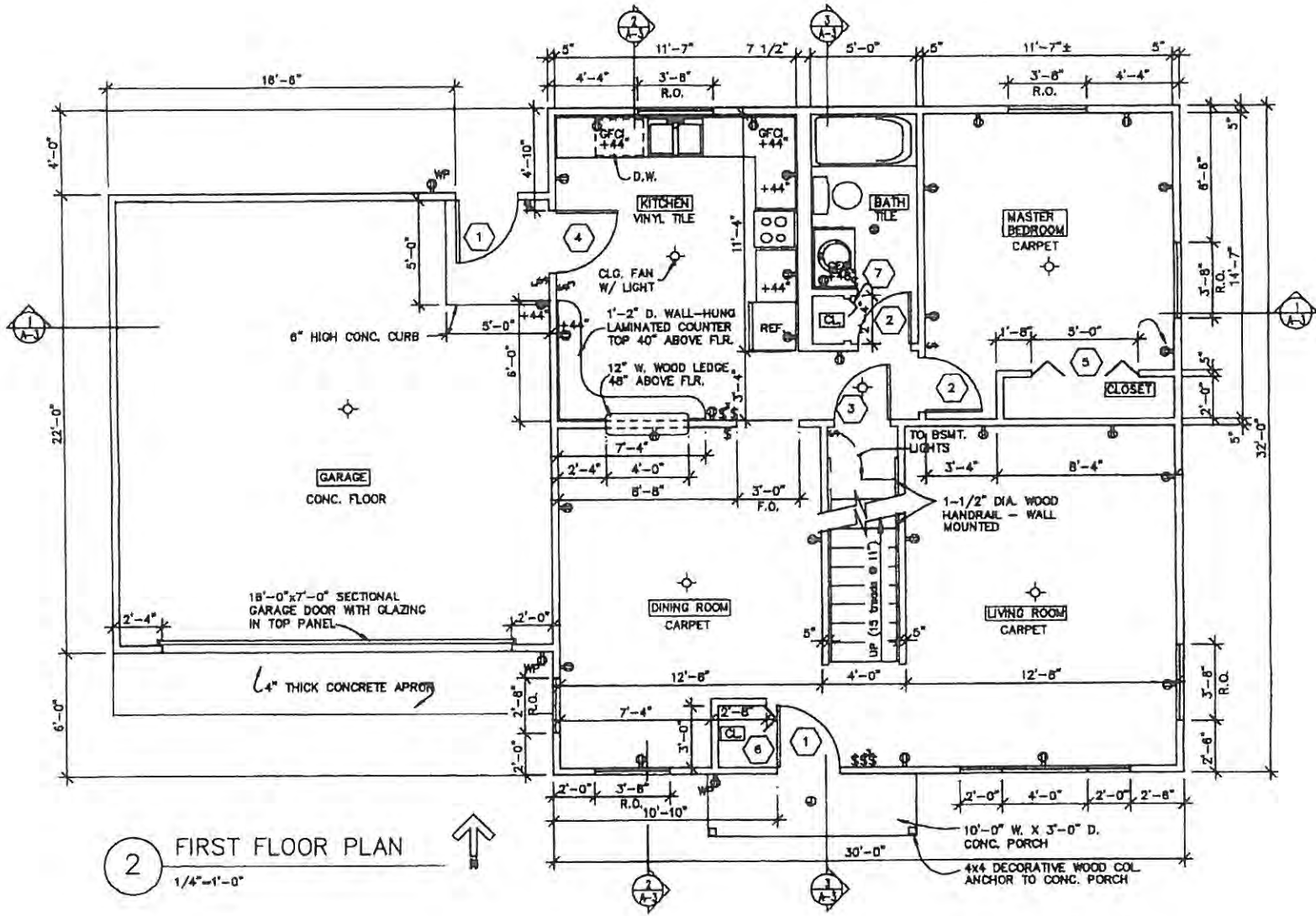
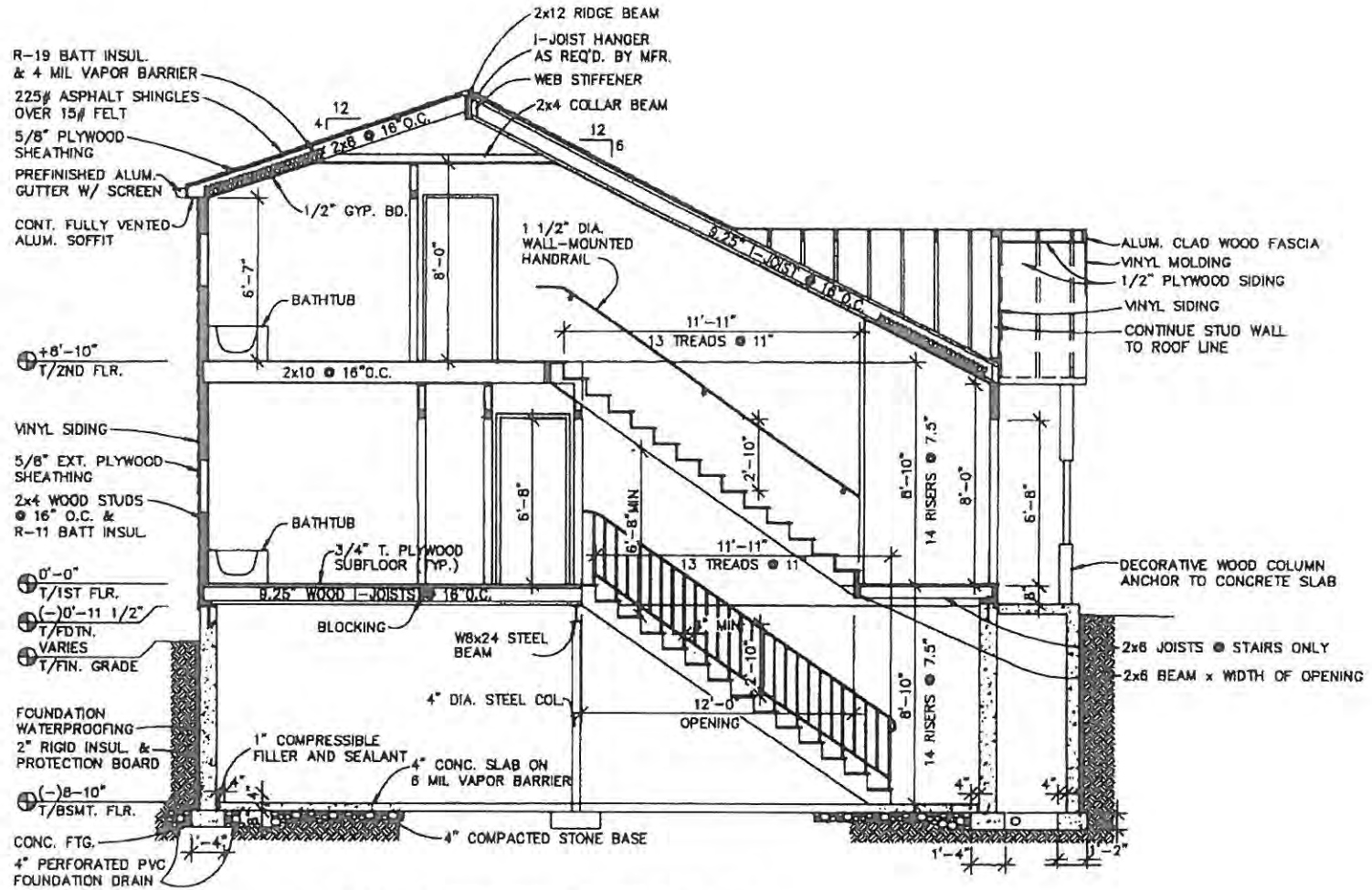


Figure 31. Building section view

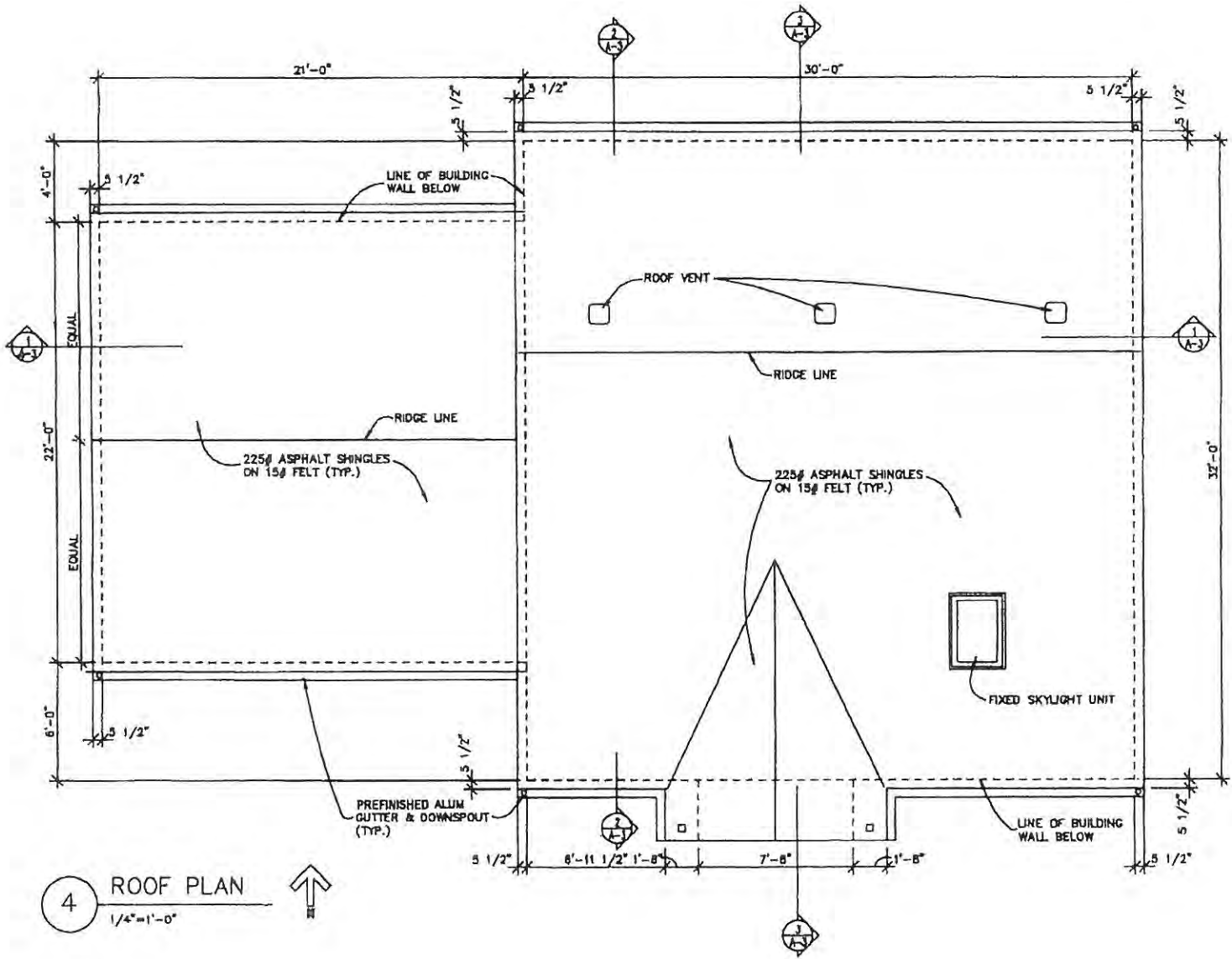


3 BUILDING TRANSVERSE OR CROSS SECTION  
 1/4"=1'0"

NOT FOR CONSTRUCTION



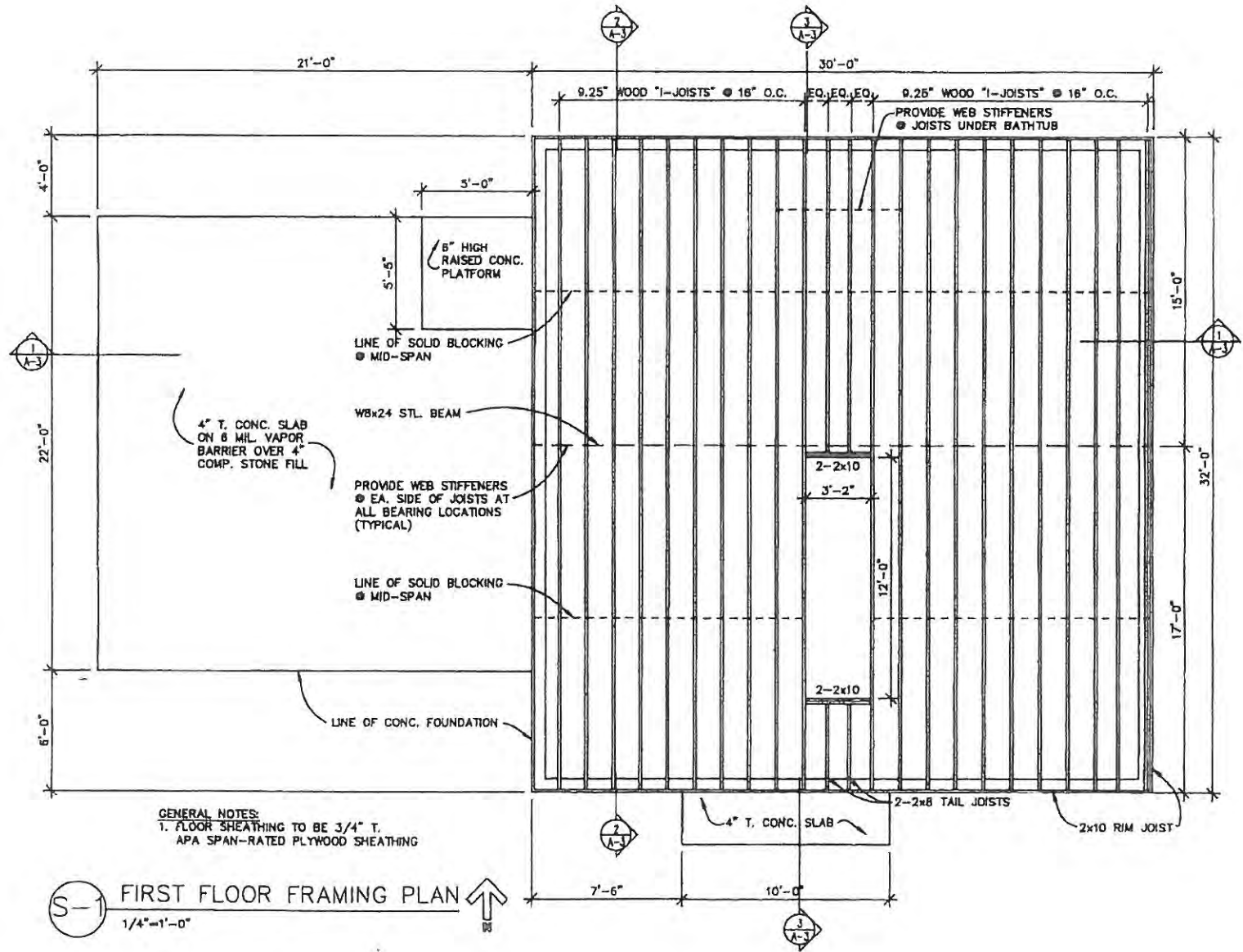
Figure 41. Roof plan



4 ROOF PLAN  
1/4" = 1'-0"

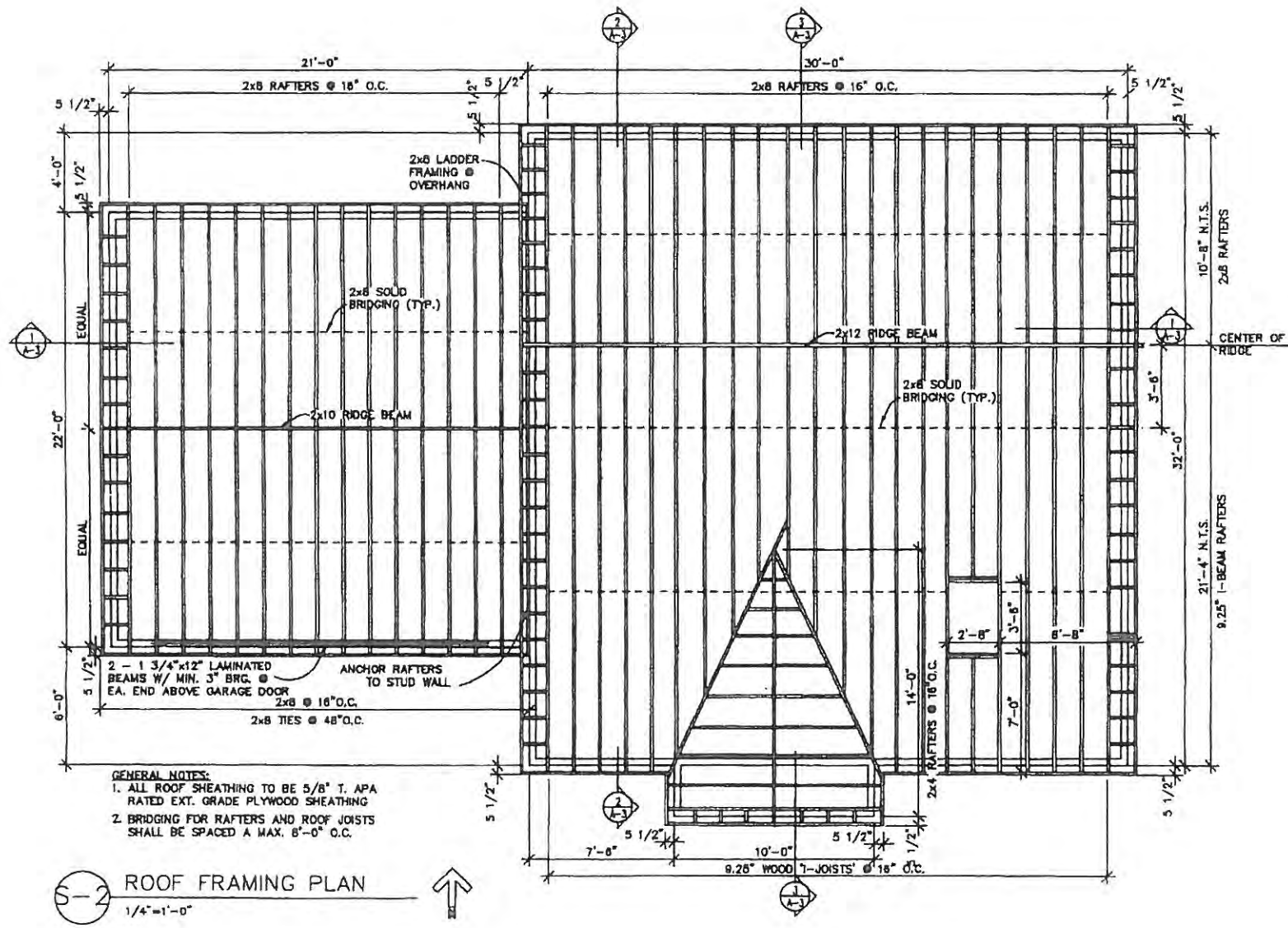
NOT FOR CONSTRUCTION

Figure 42. Floor framing plan



NOT FOR CONSTRUCTION

Figure 43. Roof framing plan

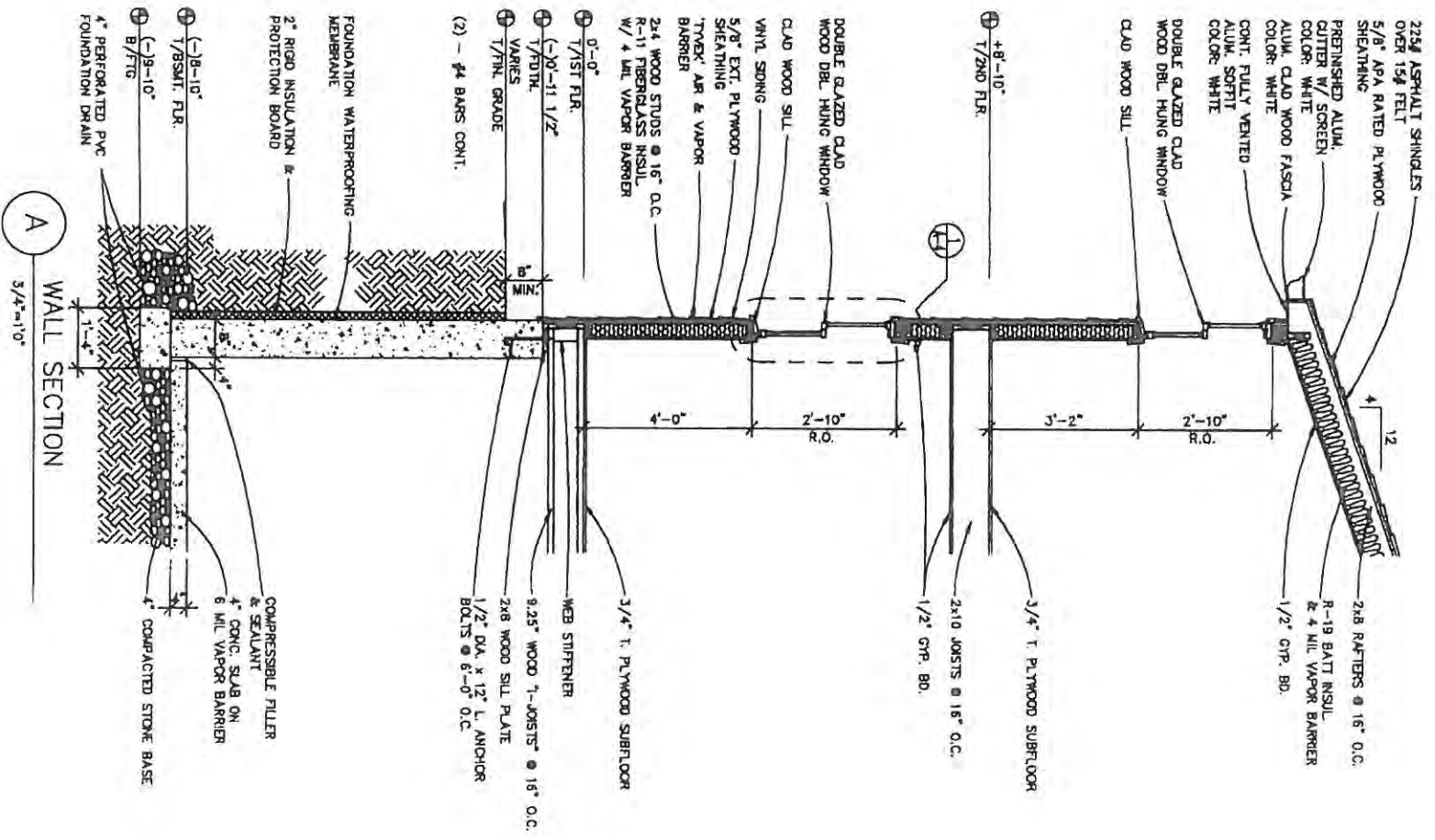


GENERAL NOTES:  
 1. ALL ROOF SHEATHING TO BE 5/8" T. APA RATED EXT. GRADE PLYWOOD SHEATHING  
 2. BRIDGING FOR RAFTERS AND ROOF JOISTS SHALL BE SPACED A MAX. 6'-0" O.C.

5-2 ROOF FRAMING PLAN  
 1/4" = 1'-0"



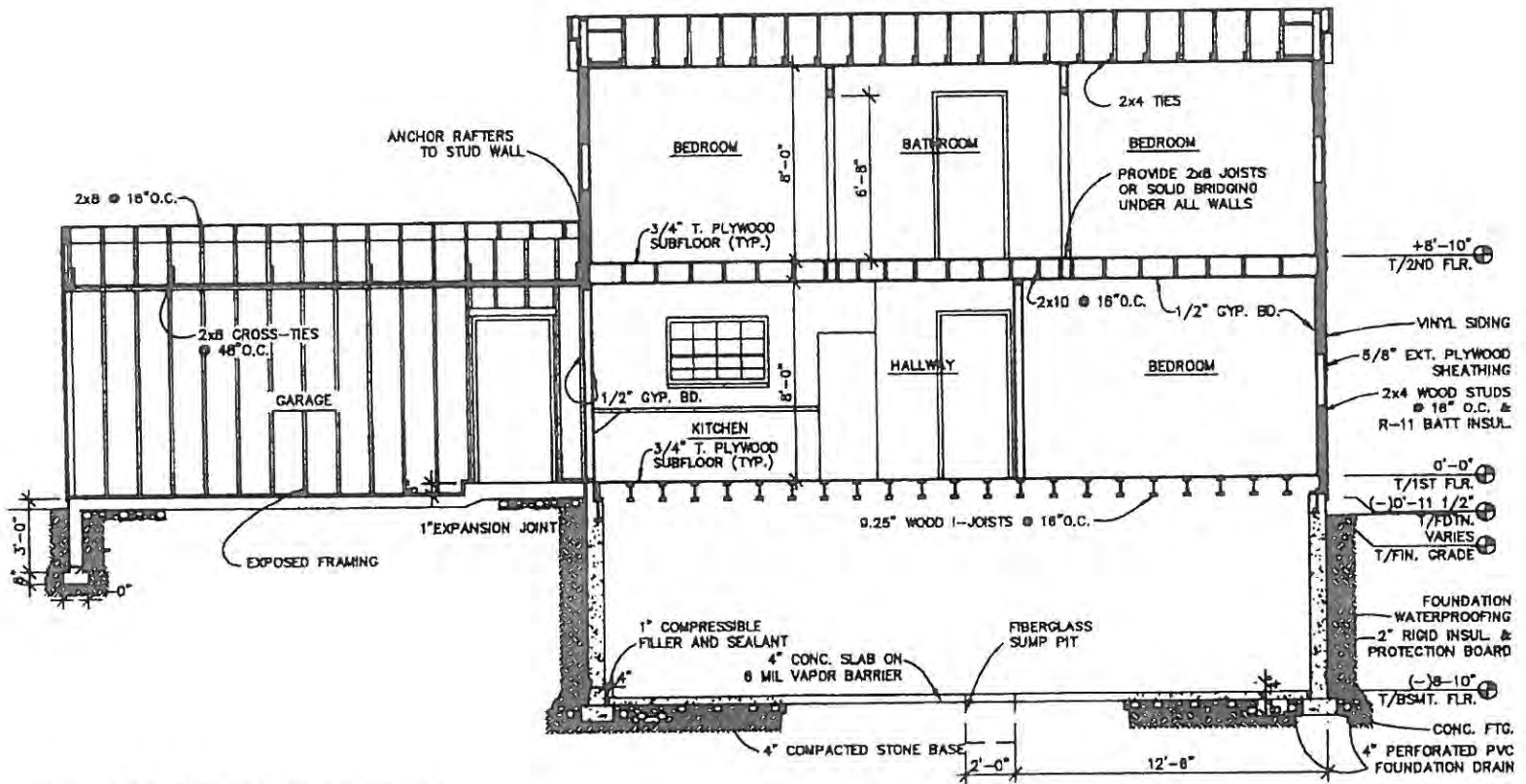
NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION

Figure 32. Wall section view

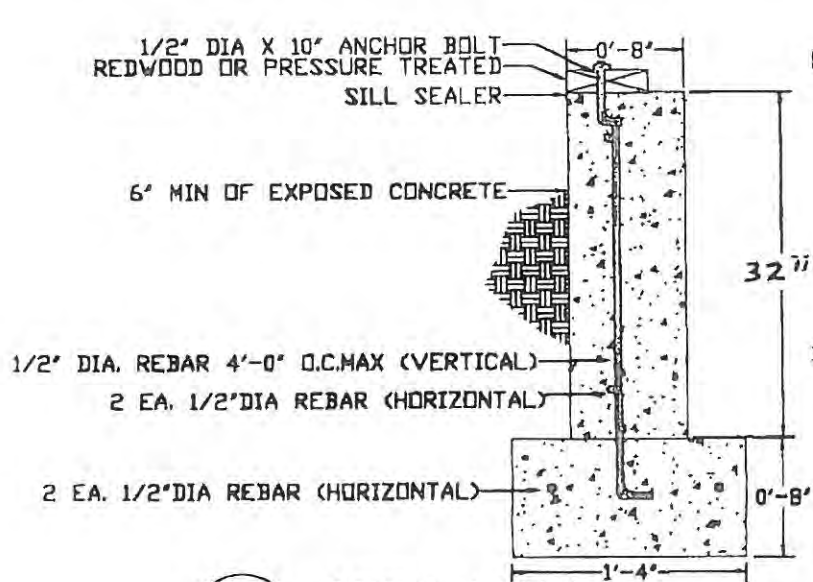
Figure 30. Transverse section



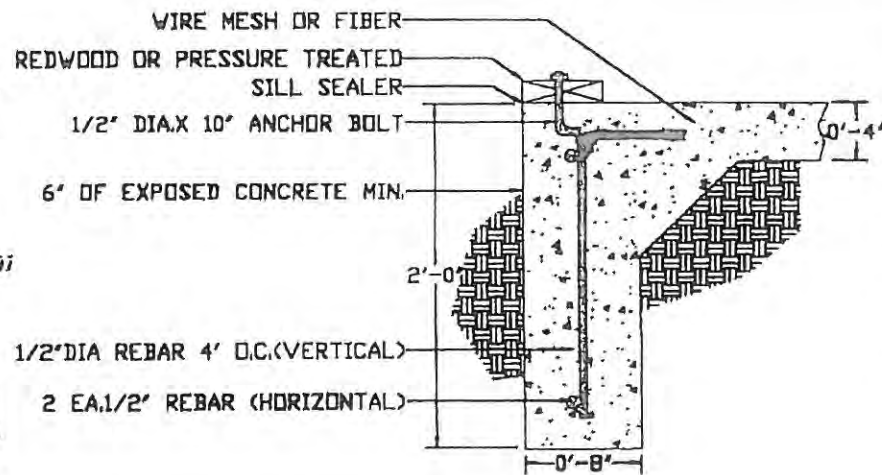
**B** LONGITUDINAL SECTION  
1/4" = 1'0"

NOT FOR CONSTRUCTION





**A** STEM WALL  
A-1 Scale: 1"=1'



**B** MONOLITHIC  
A-1 Scale: 1"=1'

- NOTES:
1. Bend Rebar around the corners and overlap Rebar 12" min at the joints.
  2. Anchor bolts must be 1/2" x 10" min and placed no more than 12" from the corners and from splices in the sill plate.
  3. Keep the Rebar at least 3" from the bottom, sides and the top.
  4. Backfill with soil at least 10" out from the building and expose 6" of concrete from the bottom of the sill plate.

Minimum Foundation Requirements for Alamosa County

1997 UBC  
Rev.2-10-00  
File: FOUNDRREQ

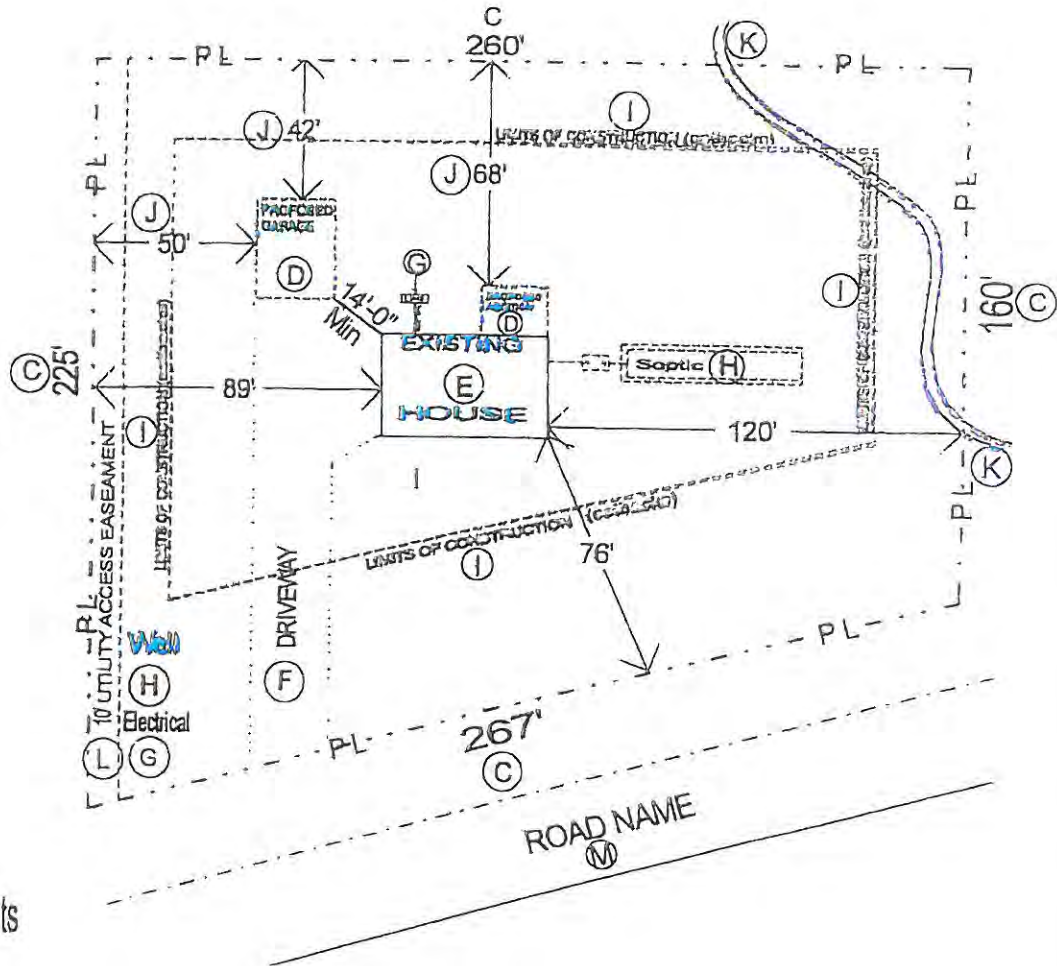
# SAMPLE SITE PLAN

## CHECKLIST

- ✓ (A) Scale: 1 in = 20', 30', 40', 50'
- ✓ (A) North Arrow
- ✓ (A) Plot Plan Scale
- ✓ (B) Property Owner Info
- ✓ (B) Parcel No.
- ✓ (C) Property Dimensions
- ✓ (D) Proposed Buildings with Dimensions
  - (D) Use dotted lines to indicate proposed structures
- ✓ (E) Existing Structures with Dimensions
  - (E) Use solid lines to indicate existing structures
- ✓ (F) Driveway
- ✓ (G) LPG/Propane and Elelectrical
- ✓ (H) Septic & Well
- ✓ (I) Limits of Construction (setbacks)
- ✓ (J) Dimensions of Proposed Setbacks
- ✓ (K) Streams, Creeks or Rivers
- ✓ (L) Easements
- ✓ (M) Roads & Streets

↑ ↓ Use arrows to show distance from buildings to setbacks

Note: This Sample Site Plan uses color to clarify requirements  
Your Site Plan *does not* need to be in color.



(A) Scale: 1 in = 50' (A) North Arrow (A)

Name:	JOHN DOE	(B)
Site Address:	123 MY STREET	(B)
Parcel No:	541345678912	(B)
Legal Description:	Unit 1 Blk 3 Lot 4 My Division of Land	(B)

Distributed By:  
ALAMOSA COUNTY DEPARTMENT  
of BUILDING SAFETY  
402 Edison Ave. Alamosa, Co. 81101  
Ph. 719-589-3612 Fax. 719-589-5888  
Sample Site Plan 15011208 \$100.00 1/1/11



**NOTICE:** All Onsite Wastewater Treatment Systems must be designed by a qualified soils technician or licensed engineer and installed by an Alamosa County licensed installer per Colorado Department of Health and the Environment's Regulation 43, effective July 1, 2014.





## 2016 LICENSED SEPTIC INSTALLERS

LIC NUM	NAME OF BUSINESS	ADDRESS	CITY	ZIP	PHONE
16-012	BRIAN'S SEPTIC	16745 HWY 136	LA JARA	81140	719-274-5350
16-007	BROWN'S SEPTIC SERV	8938 W RD 9 SO	DEL NORTE	81132	719-657-3022
16-013	COOLEY & SONS EXCAV	4469 RD 108	MOSCA	81146	719-378-2352
16-023	D&G SEPTIC INSTALLATION AND EXCAV	210 TINKHAM	ALAMOSA	81101	
16-025	HOLLMER-DAVIS P&H	PO BOX 910	CENTER	81125	719-754-2282
16-032	JJ CONTRACTING, LLC	8342 S RIVER RD	ALAMOSA	81101	719-588-3692
16-021	JERRY'S P & H	21999 STATE HWY 371	LA JARA	81140	719-274-4457
16-005	RED MARTINEZ CONST	PO BOX 22	CAPULIN	81124	719-588-7337
16-019	RMS UTILITIES, INC	6349 RD 106.65 SO	ALAMOSA	81101	719-589-4263
16-020	ROBINS CONST	PO BOX 212	ALAMOSA	81101	719-376-2351
16-014	SUNNY DAZE RANCH LLC	3501 STATE HWY 150	ALAMOSA	81101	719-580-4910
16-031	TORRES P&H	11743 RD J	ANTONITO	81120	719-379-2560
16-017	WEAVER'S LEVEL BEST	11010 RD 100 SO	ALAMOSA	81101	719-589-3484



## ENGINEERING FIRMS

### **REYNOLDS ENGINEERING COMPANY**

MARTIN REYNOLDS

21525 CR AA.5 – ALAMOSA, CO 81101

719-274-3218

[rec1430@gojade.org](mailto:rec1430@gojade.org)

### **SUMMIT ENGINEERING**

SCOTT JOHNSON

1317 STATE AVE

ALAMOSA, CO 81101

719-589-6147 LIC # 14840

[scott4622@gmail.com](mailto:scott4622@gmail.com)

### **DAVIS ENGINEERING SERVICES**

CLINTON PHILLIPS

1314 11<sup>TH</sup> ST

PO BOX 1840

ALAMOSA, CO 81101

719-589-5771

[clinton@daveng.com](mailto:clinton@daveng.com)

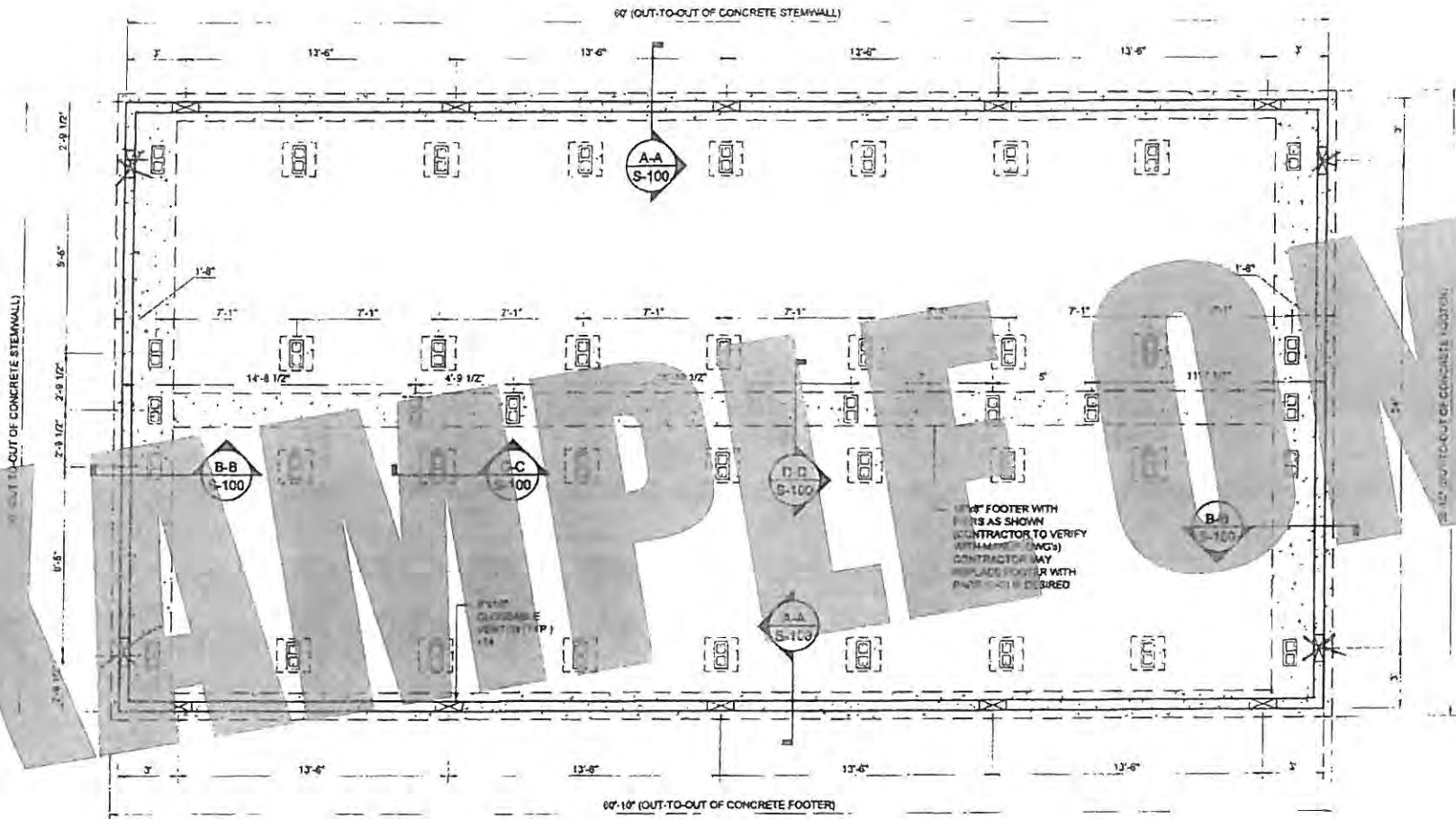


FOUNDATION PLAN  
 SCALE: 1/4" = 1'-0"  
 FOUNDATION DETAILS  
 SCALE: 3/4" = 1'-0"

FOUNDATION NOTES

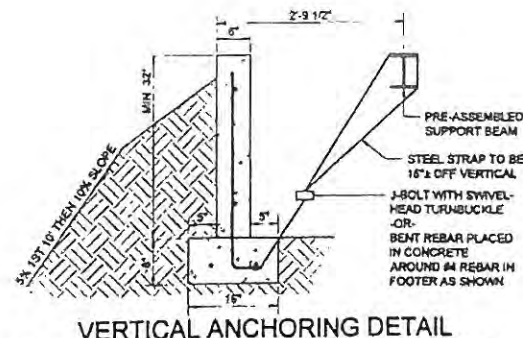
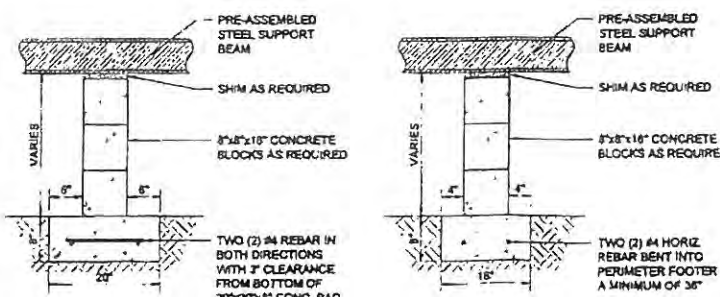
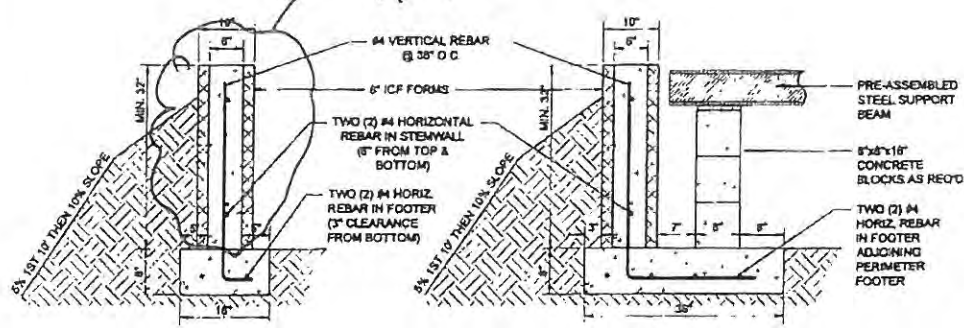
- GENERAL:
- OVERALL BUILDING DIMENSIONS USED FOR THE DESIGN OF THIS FOUNDATION WERE SUPPLIED BY THE OWNER AND MUST BE VERIFIED WITH THE OWNER PRIOR TO CONSTRUCTION OF FORM WORK AND PLACEMENT OF CONCRETE.
  - ALL CONCRETE SHALL REST ON BEARING STRATA APPROVED BY ENGINEER. NO CONCRETE SHALL BE PLACED ON WATER, SNOW OR FROZEN GROUND.
  - NO BACKFILL SHALL BE PLACED UNTIL THE HOME IS IN PLACE OR ADEQUATE TEMPORARY BRACING APPROVED BY THE ENGINEER HAS BEEN INSTALLED.
  - THE FOUNDATION SHALL BE CONSTRUCTED AT AN ELEVATION SO THAT HOME HAS PROPER DRAINAGE. ADJACENT GRADE SHALL SLOPE AWAY FROM THE BUILDING IN ALL DIRECTIONS.
  - THE CONTRACTOR SHALL INSTALL A CRAWLSPACE ENTRY WITH A MINIMUM OPENING OF SIX (6) SQUARE FEET. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF SAID CRAWLSPACE WITH THE OWNER UNLESS OTHERWISE NOTED ON THESE PLANS.
  - ADDITIONAL PIERS MAY BE REQUIRED UNDER THE MARRIAGE WALL. CONTRACTOR SHALL CHECK MANUFACTURER'S DRAWINGS FOR PROPOSED LOCATIONS OF ADDITIONAL PIERS UNDER THE MARRIAGE WALL. IF CONTRACTOR DISCOVERS NEW PIERS THEY SHALL NOTIFY SUMMIT ENGINEERING CO PRIOR TO PROCEEDING WITH ANY WORK INVOLVED.
- CONCRETE:
- MATERIALS AND WORKMANSHIP SHALL CONFORM TO ACI 318-09 BUILDING CODE OR NEWER AS REQUIRED BY LOCAL JURISDICTION.
  - ALL FOUNDATION AND INTERIOR SLAB ON GRADE CONCRETE SHALL HAVE A 28 DAY STRENGTH OF 3,000 P.S.I., TYPE II CEMENT, WITH 6% AIR ENTRAINMENT.
  - ALL EXTERIOR SLAB ON GRADE CONCRETE SHALL HAVE A 28 DAY STRENGTH OF 3,500 P.S.I., TYPE II CEMENT, WITH 6% AIR ENTRAINMENT.
  - CONTROL AND CONSTRUCTION JOINTS IN ALL CONCRETE SLABS SHALL BE SPACED TO ENCLOSE NO MORE THAN 225 SQUARE FEET WITH A MAXIMUM OF 15 FEET IN EITHER DIRECTION.
- STEEL REINFORCEMENT:
- ALL REINFORCING BARS SHALL BE NEW STOCK, DEFORMED BILLET STEEL CONFORMING TO ASTM A615 AS FOLLOWS:  
 #3 BARS..... GRADE 40  
 #4 & LARGER BARS..... GRADE 60
  - ALL REINFORCEMENT SHALL BE DETAILED IN ACCORDANCE WITH "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES", (ACI 318, LATEST EDITION).
  - WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
  - ALL BENDS SHALL BE MADE COLD.
  - ALL WALLS AND COLUMNS SHALL BE DOWELED INTO FOOTING WITH BARS OF THE SAME SIZE AND SPACING AS THE BARS ABOVE.
  - ALL REINFORCING STEEL SHALL BE SECURELY WIRED AND PROPERLY SUPPORTED ABOVE THE GROUND AND AWAY FROM FORMS.
  - PROVIDE CORNER BARS THE SAME SIZE AND SPACING AS THE HORIZONTAL REINFORCEMENT AT THE CORNERS AND INTERSECTION OF ALL WALLS, BEAMS AND FOOTINGS.
  - ALL CORNER BARS, CONTINUOUS BARS IN WALL, SLABS, AND FOOTINGS SHALL BE LAPPED 44 BAR DIAMETERS. WELDED WIRE FABRIC SHALL BE LAPPED A MINIMUM OF ONE FULL MESH PLUS 2".
  - ALL DIMENSIONS SHOWING THE LOCATION OF REINFORCING STEEL NOT NOTED AS "CLEAR" ARE TO THE CENTER OF STEEL. MINIMUM REBAR COVER FOR CONCRETE SHALL BE AS FOLLOWS:  
 CAST AGAINST EARTH..... 3" (± 3/8")  
 EXPOSED TO EARTH..... 2-1/2" (± 3/8")  
 NO. 5 AND SMALLER BARS..... 2-1/2" (± 3/8")  
 NO. 6 AND LARGER BARS..... 3" (± 3/8")  
 SLAB ON GRADE..... 2" (± 1/4")
  - ALL CORNER BARS, CONTINUOUS BARS IN WALL, SLABS, AND FOOTINGS SHALL BE LAPPED 44 BAR DIAMETERS. WELDED WIRE FABRIC SHALL BE LAPPED A MINIMUM OF ONE FULL MESH PLUS 2".

EXAMPLE ONLY



CONTRACTOR MUST FIELD-VERIFY FRAME SPACING AND OVERALL DIMENSIONS OF THE ACTUAL HOME PRIOR TO LAYING OUT THE FOUNDATION.

*changes from ICF to plywood forms*



VERTICAL ANCHORING TO BE PLACED EVERY 10' OR LESS ALONG SIDEWALL ("LONG" WALL) OF HOME AND IS TO BEGIN 2 FEET FROM EACH ENOWALL ("SHORT WALL")



**NOTICE:** *All manufactured homes  
(HUD & IRC) in Alamosa County must have  
foundation drawings prepared by a licensed  
Colorado engineer*

MANUFACTURED HOME

LICENSED INSTALLERS

**1000091 DWIGHT'S HOME SERVICE**

*0485 HANIVER ST ALAMOSA, CO 81101 719-589-9717*

**1000871 JJ HOSTETTER**

*8342 S RIVER ROAD ALAMOSA, CO 81101 719-588-3692*

**1000397 FAYETTE FARMS**

*16969 HWY 5 ROCKY FORD, CO 81067 719-469-6402*

**1000217 WIDELOAD**

*82 DICK TREFZ PUEBLO, CO 81001 719-240-4437*



## ALAMOSA COUNTY BUILDING PERMIT FEE SCHEDULE "A"

(Based on the 2003 IRC Codes)

TOTAL VALUATION	FEE
\$1.00 to \$500.00	\$23.50
\$501.00 to \$2,000.00	\$23.50 for the first \$500.00 plus \$3.05 for each additional \$100.00, or fraction thereof, to and including \$2,000.00
\$2,001.00 to \$25,000.00	\$69.25 for the first \$2,000.00 plus \$14.00 for each additional \$1,000.00, or fraction thereof, to and including \$25,000.00
\$25,001.00 to \$50,000.00	\$391.25 for the first \$25,000.00 plus \$10.10 for each additional \$1,000.00, or fraction thereof, to and including \$50,000.00
\$50,001.00 to \$100,000.00	\$643.75 for the first \$50,000.00 plus \$ 7.00 for each additional \$1,000.00, or fraction thereof and including \$100,000.00
\$100,001.00 to \$500,000.00	\$993.75 for the first \$100,000.00 plus \$5.60 for each additional \$1,000.00, or fraction thereof, to and including \$500,000.00
\$500,001.00 to \$1,000,000.00	\$3,233.75 for the first \$500,000.00 plus \$4.75 for each additional \$1,000.00, or fraction thereof, to and including \$1,000,000.00
\$1,000,001.00 and up	\$5,608.75 for the first \$1,000,000.00 plus \$3.15 for each additional \$1,000.00 or fraction thereof

### OTHER INSPECTIONS AND FEE SCHEDULE "B"

1. Inspections outside of normal business hours .....	50.00 per hour*
2. Re-inspection fees assessed under provisions of section 108.4.....	\$50.00 per hour*
3. Inspections for which no fee is specifically indicated.....	\$50.00 per hour* (Minimum charge-one half [1/2] hour)
4. Additional plan review required by changes, additions or revisions to approved plans.....	\$50.00 per hour* (Minimum charge-one half [1/2] hour)
5. Use of outside consultants for plan review and inspections or both.....	Actual Costs**
6. Other Fees:	
Deck.....	\$50.00
Fence (Residential) .....	\$25.00
Fence (Commercial).....	\$100.00
Demolition Permit (State Demolition Permit required) Residential and Commercial.....	\$25.00
Free Standing Building (FSB); portable buildings built on skids (Max. 400 Square Feet).....	\$50.00
Pole Barn Building used as a garage, storage, or utility-the permit fee is based on actual cost.....	\$10.00 per sq foot
Agriculture Building/ Hay Storage.....	\$100.00
Residential PV (Solar) Permit Fee (attached or unattached to house).....	\$50.00
Commercial PV (Solar) Permit Fee.....	\$100.00
Re-Roofing, Siding, Stucco Permit.....	\$50.00
Residential Greenhouse.....	\$7.50 per sq foot
Sign Permit.....	\$1 square foot with a \$25 minimum
Temporary Permit (example: cement batch plant).....	\$120.00
7. Issuance of each <b>Temporary Certificate of Occupancy</b> (80% refund possible).....	\$200.00
8. Building without a valid permit.....	200% of permit fee
9. Occupancy of building without a <b>Certificate of Occupancy</b> .....	150% of original permit fee
10. Refunds approved by the building Official at 80% of the original permit fee under provisions of section R108.5.	
<b>Manufactured Homes will be assessed at 50% of the above fee schedule for the home value and evaluated at 100% of the above fee schedule for the foundation cost.</b>	

\*The total hourly cost to the jurisdiction, whichever is greatest. The cost shall include supervision, overhead, equipment, hourly wages and fringe benefits of the employees involved.

and miscellaneous supporting data. This information can be obtained on a statewide basis from the Division's Records Section located in Denver. Their public hours are from 10:00 a.m. to 3:30 p.m., Monday through Friday. (Please note this section is closed on the last Friday of each month for record maintenance). Localized data, to a limited extent, can be found in our division field offices. Information on ground water well permitting can also be obtained from the Ground Water Information desk at: (303) 866-3587. The Division does not carry data regarding the buying and selling of water rights.

***Are there other duties that the State Engineer's staff perform?***

Yes. Professional engineers and geologists collect and analyze data on water supply to forecast streamflows, determine diversion requirements, investigate stream transit losses, determine evaporation losses, and calculate historic use and current conditions. A statewide satellite monitoring system that records streamflows on a real-time basis is also maintained by this office, and has become crucial in the state's flood monitoring efforts. Additionally, the staff acts in an advisory capacity to county commissioners, provides advice to other state agencies, and plans for future use and development of the waters of the state in conjunction with other agencies.

***How can I get more information?***

***In Denver:***

**The Division of Water Resources**  
1313 Sherman Street, Room 818  
Denver, CO 80203

Phone: (303) 866-3581  
Fax: (303) 866-3589  
Website:  
<http://water.state.co.us>

Ground Water Information (303) 866-3587  
Records Section (303) 866-3447

***Throughout the State:***

<b>Division 1</b>	
Greeley	(970) 352-8712
<b>Division 2</b>	
Pueblo	(719) 542-3368
<b>Division 3</b>	
Alamosa	(719) 589-6683
<b>Division 4</b>	
Montrose	(970) 249-6622
<b>Division 5</b>	
Glenwood Springs	(970) 945-5665
<b>Division 6</b>	
Steamboat Springs	(970) 879-0272
<b>Division 7</b>	
Durango	(970) 247-1845

**The Division of Water Resources is a division of the State of Colorado Department of Natural Resources.**

**Bill Owens**  
Governor

**Greg Walcher**  
Executive Director

**THE  
COLORADO  
DIVISION  
OF WATER  
RESOURCES**



**Office of the  
State Engineer**

**Hal D. Simpson, State Engineer**



***What does the Division of Water Resources do?***

Colorado, for well over 100 years, has used a system of water distribution known as the prior appropriation doctrine. Under this doctrine, the first appropriator of water has a senior right to that water, and that right must be satisfied before any rights junior to that right can receive water. The Division of Water Resources is empowered to administer all surface and ground water rights throughout the state and ensure that this doctrine is enforced.

Obviously, the State Engineer does not do the day to day administration of all of these water rights. Most of that work is accomplished through field offices, known as the Division Engineer's Offices. Seven division offices are located throughout the state in each major drainage basin. The division offices in turn employ water commissioners who are actually out in the field, turning headgates, issuing shut down orders, collecting water use and/or diversion data, and enforcing the decrees and water laws of the State of Colorado.

***For what other areas is the State Engineer responsible?***

While water administration and enforcement is a major duty of the State Engineer, a host of other duties are under his responsibility. Ground water well permitting is one of those duties.

By law, every new well in the state that diverts ground water must have a well permit. In order to obtain a permit, a person must file an application for approval of a permit with the State Engineer. Over 10,000 applications are submitted for review annually and the staff determines the amount of water available and analyzes the potential for injury to other existing water rights under strict statutory guidelines.

The State Engineer also provides staff to assist in technical support to the Colorado Ground Water Commission, in the exercise of its duties in the Designated Basins, generally located on the eastern plains of Colorado. Well permits for wells located in these basins are evaluated by the staff and submitted to the Commission for approval.

Further, the State Engineer provides staff assistance for the Board of Examiners of Water Well Construction and Pump Installation Contractors. This Board oversees the safe and proper installation of well pump equipment and regulates the proper, safe construction of wells throughout the state.

The Division, in cooperation with various local ground water management districts, operates a statewide network for monitoring ground water levels. Over 1,500 wells are measured to assist in projecting ground water levels and to aid in the administration of ground water.

***What does the State Engineer have to do with dams in Colorado?***

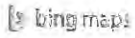
Dam safety engineers review, and the State Engineer approves, plans and specifications for construction of new dams and plans for repair of existing dams. Also, the dam safety engineers determine safe storage levels in reservoirs and inspect most dams located throughout the state to ensure the safety of the public. If deficiencies are found, the State Engineer has the authority to issue repair and/or restriction orders.

***What does the Division have to do with water flowing out of the state?***

Waters flowing across state boundaries are apportioned through interstate compacts, Federal court decrees, and U.S. Supreme Court decisions. The State Engineer and his staff administer flows along the South Platte, Rio Grande, Republican, Costilla, Arkansas, Colorado, Laramie, North Platte and La Plata Rivers on a daily basis to make sure that Colorado is meeting the commitments set forth in those documents.

***If I need information on water rights, is the Division of Water Resources the place I need to go?***

In most instances, the answer is yes. The Division maintains records of streamflows, as well as water rights adjudications and well permits, plans for dams and reservoirs, water diversions,



From  
To  
Notes

8999 Independence Way, Alamosa, CO 81101  
Water Resources Division, 301 Murphy Dr, Alamosa, CO 81101

Type your route notes here

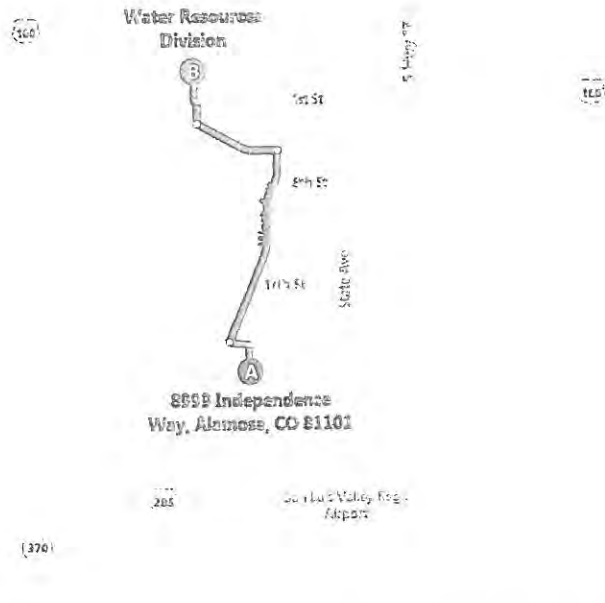
09 min, 2.7 mi  
Light traffic  
8 min without traffic  
Via US-285, US-160

8999 Independence Way, Alamosa, CO 81101

- Depart Independence Way toward Independence Dr 49 ft
- Turn right onto Independence Dr 0.2 mi
- Turn left onto 21st St 0.1 mi
- Turn right onto US-285 / S US Hwy 285 1.4 mi
- Turn left onto US-160 W / US-285 N / Main St 0.6 mi  
*Minor Congestion*
- Turn right onto Pike Ave 0.1 mi
- Turn left onto 1st St, and then immediately turn right onto Murphy Dr 0.2 mi

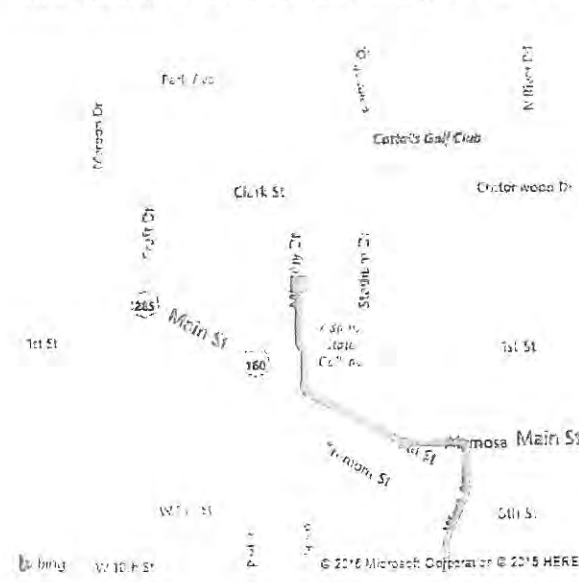
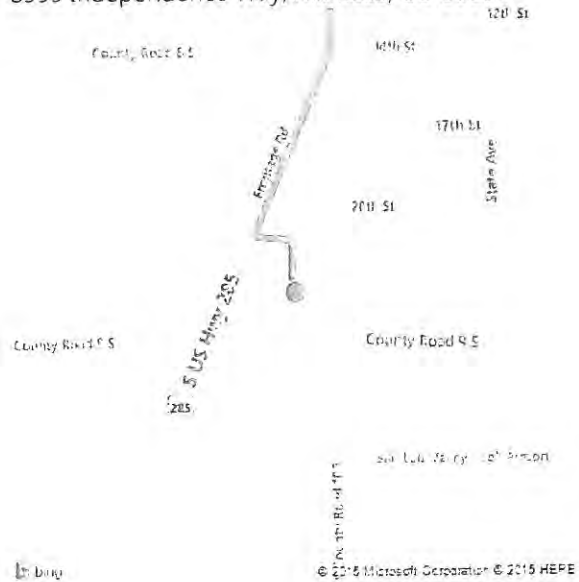
Arrive at Murphy Dr  
The last intersection is Vigil Way  
If you reach Thomas Ave, you've gone too far

Water Resources Division  
301 Murphy Dr, Alamosa, CO 81101



8999 Independence Way, Alamosa, CO 81101

Water Resources Division, 301 Murphy Dr, Alamo...



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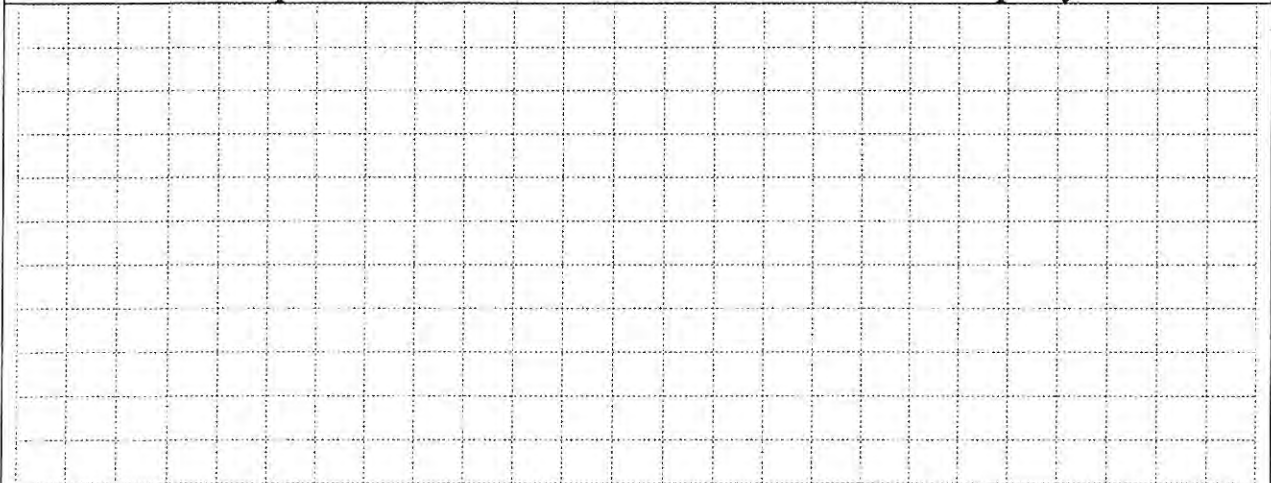


**APPLICATION FOR A NEW ADDRESS**

Land Use Office • 8999 Independence Way • Alamosa, CO 81101  
 Phone: 719-589-3812 • Fax: 719-589-5888

<b>Type of Structure:</b> <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Agricultural <input type="checkbox"/> Utility <input type="checkbox"/> Other (Specify) _____	Date: _____ Date Requested: _____ Application Fee: <b>\$50.00</b>
	Name of Applicant: _____ Phone Number: _____
	Current Mailing Address: _____
	City: _____ State: _____ Zip: _____
<b>Check all boxes that apply:</b> <input type="checkbox"/> One Side <input type="checkbox"/> Two Side <input type="checkbox"/> Vertical <input type="checkbox"/> Horizontal	_____ <div style="text-align: center;"><b>X</b></div> Signature of Applicant
	<b>Legal Description of Property:</b> Section: _____ Township: _____ Range: _____ Unit: _____ Block: _____ Lot(s): _____ Subdivision: _____
	Common Description of Property: _____ Entry Markings: _____

**Use Space Below to Draw the Location of Your Property:**



**For Administrative Use Only:**

Latitude _____		Longitude _____		
<input type="checkbox"/> New Address <input type="checkbox"/> Correction	Date Issued: _____	Location Map: _____	Parcel Number: _____	<b>Routing:</b> <input type="checkbox"/> Assessor <input type="checkbox"/> Sheriff <input type="checkbox"/> 911/CHP

**New Address Issued:** \_\_\_\_\_

## COLORADO STATE ELECTRICAL INSPECTOR

JOHNNY CASIAS	PH: (303) 869-3449	FAX: (303) 869-0374
johnny.casias@state.co.us		

## COLORADO STATE PLUMBING INSPECTOR

ANDREW MEDINA	PH: (303) 869-3469	FAX: (303) 869-0394
andrew.medina@dora.state.co.us		