

# The RUNDELL Residence

23047 Big Game Trail

Conifer, Colorado

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA TABLE R3012(1)	
GROUND 4 ROOF SNOU LOAD, ELEV. 8875' PER TABLE R3012.3 + GROUND 103' POF. ROOF 16' POF	
WIND DESIGN + 103 MPH V. ULT. EXPOSURE 'B', TOPOGRAPHIC EFFECTS + YES	
SEISMIC DESIGN CATEGORY + 'B'	
SUBJECT TO DAMAGE FROM: WEATHERING + SEVERE FROST DEPTH + 36", TERMITES + SLIGHT TO MODERATE	
WINTER DESIGN TEMPERATURE + 1' F.	
ICE BARRIER UNDERLAYMENT REQUIRED + YES	
FLOOD HAZARDS + VARIES	
AIR FREEZING INDEX + 532	
MEAN ANNUAL TEMPERATURE + 50.5' F.	

PROJECT TABULATION	
PROJECT TYPE: NEW ONE-STORY SINGLE FAMILY RESIDENCE WITH PARTIALLY FINISHED BASEMENT AND A 3-CAR ATTACHED GARAGE	
CONSTRUCTION TYPE: V-B NON-RATED	
OCCUPANCY: R-3 + U	
NUMBER OF STORIES: ONE	
ZONING: A2	
WILDFIRE ZONE: WILDFIRE ZONE #1	
DESIGN CODES: 2018 IRC, 2018 IECC, 2020 NEC	
2018 JEFFERSON COUNTY RESIDENTIAL CODE SUPPLEMENT, JULY 2021	
AREAS:	
1. LOT SIZE + APPROX. 352 ACRES	
2. RESIDENCE:	
A.) 1ST FLOOR + APPROX. 2723 SQ. FT.	
B.) BASEMENT + FINISHED SPACE + APPROX. 873 SQ. FT. UNFINISHED SPACE + APPROX. 681 SQ. FT.	
C.) GARAGE + APPROX. 1045 SQ. FT.	
D.) EXTERIOR DECKS + COVERED ENTRY + APPROX. 1442 SQ. FT.	
E.) WALKOUT PATIO + APPROX. 180 SQ. FT.	

INSULATION SCHEDULE	
NOTE: CLIMATE ZONE 5. ALL INSULATION TO CONFORM W/ 2018 IECC, SECTIONS R303.1.4 + R402.2	
EXTERIOR FRAME WALLS 2X6: R-19 (2X6 STUD WALL CAVITY)	
EXTERIOR CONC. BASEMENT WALLS: EXT. R-5 RIGID EXT. BOARD 4 FT. DEEP INT. R-19 VINYL FACED BLANKETS FULL HGT.	
ATTIC SPACE: R-49	
BASEMENT SLAB AT GARDEN LEVEL: R-10 UNDER SLAB X 4 FT.	
HEATED BASEMENT FLOOR SLAB: R-5 INSULATION SHALL BE PROVIDED UNDER FULL SLAB AREA FOR HEATED SLABS, IN ADDITION TO SLAB EDGE INSULATION R-VALUES.	
FOUNDATION WALL SILL PLATE: CONTINUOUS FOAM SILL SEALER	
WINDOWS: PENETRATION U-FACTOR 0.30	
MISCELLANEOUS:	
A. AIR BARRIER REQUIRED AT ALL EXT. WALLS, JOIST/ RIM AND CEILING. SEAL ALL PENETRATIONS PER IECC SECTION R402.4	
B. PROVIDE FOAM SEALER AROUND ALL DOORS, WINDOWS, PENETRATIONS + VOIDS AS REQUIRED, TYPICAL.	
C. ATTIC ACCESS HATCH SHALL BE LEATHER STRIPPED AND INSULATED TO R-49.	

DRAWING INDEX	
ARCHITECTURAL	
CVR	COVER SHEET
AS-1	ARCHITECTURAL SITE PLAN
A-1	BASEMENT PLAN
A-2	FIRST FLOOR PLAN
A-3	ROOF PLAN
A-4	EXTERIOR ELEVATIONS
A-5	EXTERIOR ELEVATIONS
A-6	BUILDING SECTIONS
A-7	IECC COMPLIANCE SHEET
STRUCTURAL	
F-1	FOUNDATION PLAN
F-2	FOUNDATION DETAILS
S-1	FIRST FLOOR FRAMING PLAN
S-2	ROOF FRAMING PLAN
ELECTRICAL	
E-1	BASEMENT POWER AND LIGHTING LOCATION PLAN
E-2	1ST FLOOR POWER AND LIGHTING LOCATION PLAN

MATERIALS	SYMBOLS
Brick	Key note
CMU - Concrete Masonry Units	Window number
Plaster or stucco	Building elevation
Structural wood	Exterior elevation
Finish wood	Section letter or Detail number
Wood blocking	Sheet number
Flywood	
Rigid insulation	
Concrete	

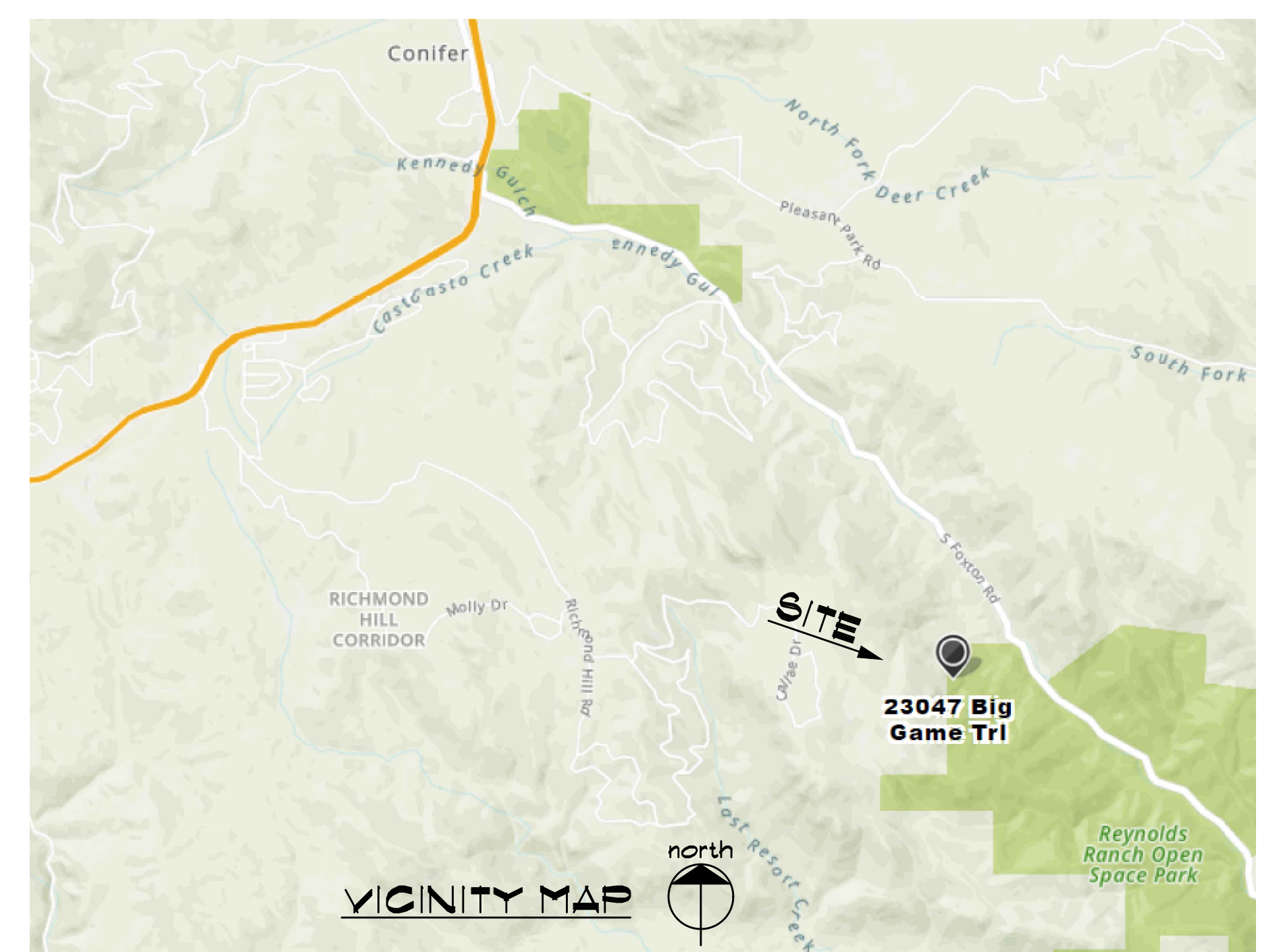
- ### GENERAL NOTES
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY REGULATORY AUTHORITIES.
  - ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, LAWS, AND ORDINANCES APPLICABLE TO THIS PROJECT.
  - THE CONTRACTOR SHALL VERIFY ALL SETBACKS, EASEMENTS, UTILITIES, + MEASUREMENTS PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, THE EXACT LOCATION OF UTILITY TAPS, THE CONNECTION OF UTILITY LINES FROM THE BUILDING TO SERVICE LINES, AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL WORK DONE OUTSIDE THE PROPERTY LINES SHALL BE DONE IN ACCORDANCE WITH THE REGULATORY AUTHORITIES.
  - ALL MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING REQUIRED FOR THIS PROJECT IS BY OTHERS.
  - CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM SITE AS REQUIRED.
  - ALL INTERIOR FINISHES SUCH AS CARPET, PAINT, TILE, HARDWOOD ETC. SHALL BE SELECTED BY THE CONTRACTOR WITH THE CONTRACTOR COORDINATING ALL SELECTIONS.
  - ALL CABINETS, BUILT-INS, SHELVING, ETC. SHALL BE COORDINATED BY THE CONTRACTOR.
  - ALL FIRE PROTECTION, LIGHTING PROTECTION, SECURITY SYSTEMS, AND HOME MANAGEMENT SYSTEMS AND ENGINEERING REQUIRED FOR THESE SYSTEM IS BY THE CONTRACTOR AND SHALL BE COORDINATED BY THE CONTRACTOR.
  - ALL DOORS, INTERIOR AND EXTERIOR, AND HARDWARE SHALL BE AS SELECTED BY AND COORDINATED BY THE CONTRACTOR.
  - THE BUILDER IS RESPONSIBLE FOR ALL CONSTRUCTION METHODS, TYPICAL.
  - PROVIDE FLASHING AS REQUIRED PER 2012 IRC 103.8, TYPICAL.

CONSULTANTS	
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GREG DESIGN	



note: provide temp glass per code 4 as req'd. by Elbert County builder to coordinate.

tag	location	type	size (w. x h.)	hd. hgt.	remarks
<b>basement</b>					
1	not used	-	-	-	-
2	Bedroom no. 3	casement	3'-0"X4'-6"X(2)	7'-8"	egress required
3	Bedroom no. 4	fixed center w/ cent. flankers	center fixed - 4'-0"X4'-6" cent. flankers = 3'-0"X4'-6"	7'-8"	egress req'd, mull + reinf. units as req'd.
4	Unfin. Mechanical	slider	4'-0"X4'-6"	7'-8"	
5	Unfin. Space	slider	4'-0"X4'-6"	7'-8"	
<b>first floor</b>					
6	3-car Garage	fixed	3'-0"X5'-0"X(2)	8'-0" abv. let fl.	
7	Foyer abv. entry door	fixed	4'-0"X3'-0"	12'-0"	stack abv. entry door, tempered glass
8	Greatroom	fixed center w/ cent. flankers	center fixed - 5'-0"X5'-0" cent. flankers = 2'-6"X5'-0"	8'-0"	mull + reinf. units as required
9	Dining	casement	3'-0"X5'-0"	8'-0"	(2) total
10	Dining	fixed	3'-0"X2'-0"	10'-0"	stack abv. wdw. #3, (2) total
11	Dining	fixed	6'-0"X5'-0"	8'-0"	
12	Dining	fixed	6'-0"X2'-0"	10'-0"	stack abv. wdw. #1, (2) total
13	Dining	casement	3'-0"X5'-0"X(2)	8'-0"	
14	Bedroom no. 1	fixed	2'-6"X2'-6"	8'-0"	(3) total
15	Bath no. 1	casement	2'-6"X5'-0"X(2)	8'-0"	tempered glass
16	Closet no. 1	fixed	2'-0"X2'-6"	8'-0"	
17	Closet no. 1	fixed	2'-0"X2'-6"	8'-0"	
18	Bedroom no. 2	casement	2'-6"X5'-0"	8'-0"	
19	Bedroom no. 2	casement	3'-0"X5'-0"X(2)	8'-0"	egress required
20	3-car Garage	fixed	3'-0"X5'-0"X(2)	8'-0" abv. let fl.	
21	false door abv. garage	fixed	2'-0"X2'-6"	---	obscure glass



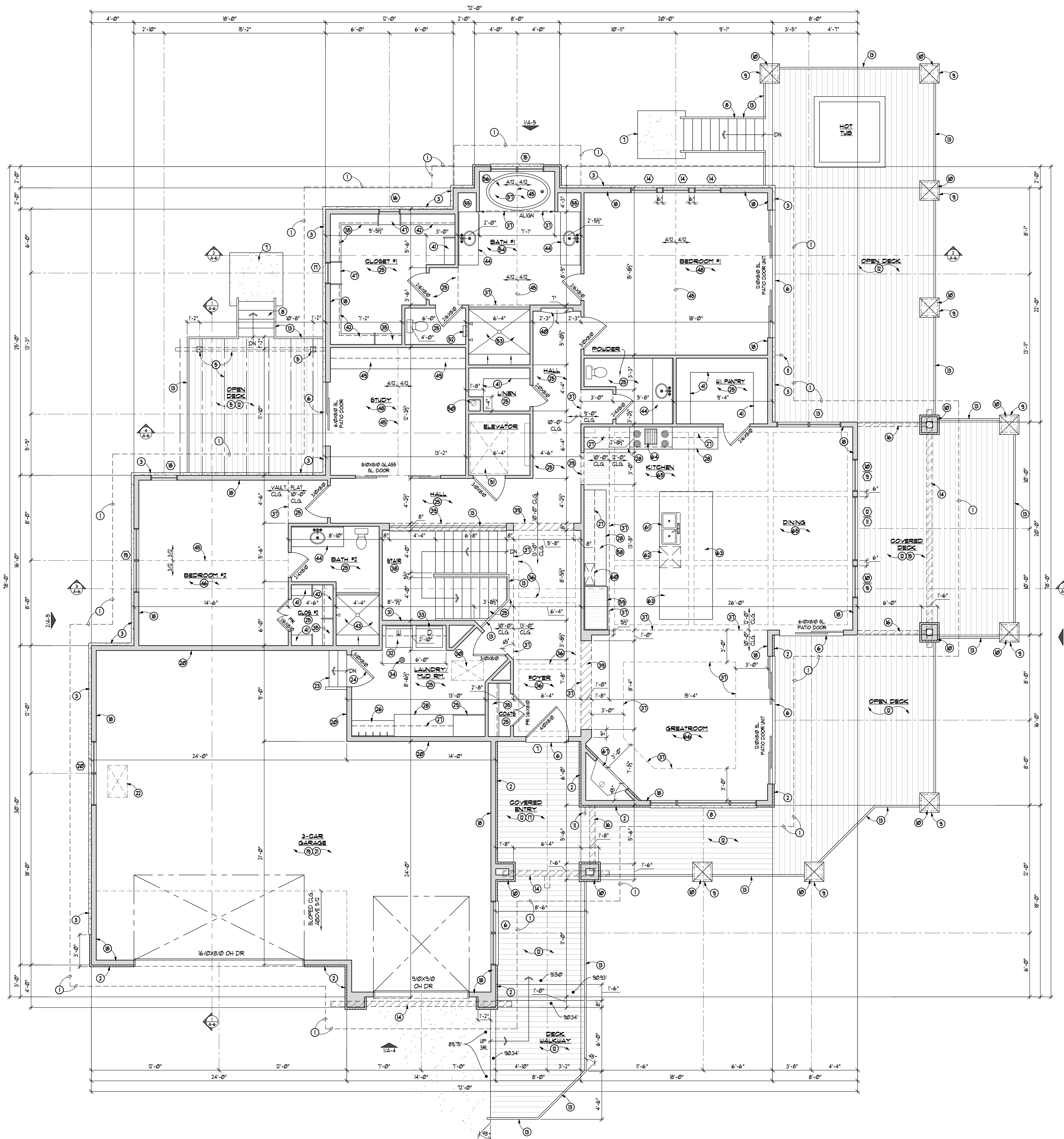
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REGG DESIGN  
CUSTOM BUILDERS, INC.  
303-781-4697

The RUNDELL Residence  
23047 Big Game Trail  
Jefferson County, Colorado

JOB # 202106
DRAWN
CHECKED
ISSUED
1/15/2022
SHEET
CVR





**1ST FLOOR PLAN KEYNOTES**

1. ROOF LINE ABOVE, TYPICAL.
2. STONE VENEER SYSTEM, INSTALL PER MANUFACTURER SPECIFICATIONS.
3. SLOPED STONE SILL BELOW, EXTEND OVER STONE AND PROVIDE CONTINUOUS DRIP.
4. CONCRETE PATIO SLAB, SLOPE FOR DRAINAGE.
5. R.S. TIMBER TRELLIS ABOVE, 4X10 R.S. RAFTERS, 6X6 R.S. POSTS AND 6X10 R.S. BEAM. SEE STRUCTURAL FOR ALL CONNECTIONS.
6. 1" STEP UP INTO HOUSE, TYPICAL.
7. 5'-0"X5'-0" CONCRETE STOOP, THICKEN ALL EDGES.
8. R.S. TIMBER STAIR W/ 3X2 TREADS AND 4X12 STRINGERS, PROVIDE TIE-BACK STEEL RAILINGS EACH.
9. STONE CAP (SLOPED) EXTEND OVER STONE BELOW AND PROVIDE CONTINUOUS DRIP.
10. DECK COLLARING - 2X6 FIRE RESISTIVE EXTERIOR STUDS, WRAP W/ ICE/WATER SHIELD AND WRB, WRAP W/ STONE VENEER SYSTEM AND PROVIDE DRAINAGE BOARD AND WEEP HOLES PER MANUFACTURER SPECIFICATIONS, TYPICAL. ALL DECK COLUMNS.
11. FREEZE-PROOF HOSEBIBS.
12. DECK - APPROVED WOOD THERMOPLASTIC COMPOSITE LUMBER OR IGNITION RESISTANT DECKING ON FIRE RETARDANT TREATED WOOD JOIST LABELED FOR EXTERIOR USE, TYPICAL.
13. 38" HIGH RAILING - 2X2 TUBE STEEL FRAME W/ 3/4" SQ. BALUSTERS 45° OC, POWDER COAT FINISH, TYPICAL.
14. TIMBER TRUSS ABOVE.
15. 12'-0" CEILING HEIGHT ABOVE, PROVIDE HARDIBOARD SOFFIT.
16. DROPPED BEAM ABOVE, WRAP W/ HARDIBOARD TRIM.
17. 13'-0" CEILING ABOVE, PROVIDE HARDIBOARD SOFFIT.
18. 2X6 EXTERIOR STUD WALL W/ R-19 INSULATION, VAPOR BARRIER AND GYP BOARD, TYPICAL.
19. CONCRETE SLAB, SLOPE DOWN TO OVERHEAD DOORS, TYPICAL.
20. 3/4" TYPE 'X' GYP BOARD AT COMMON WALL, EXTEND TO UNDERSIDE OF ROOF DECK ABOVE, TYPICAL.
21. PROVIDE 3/4" TYPE 'X' GYP BOARD AT UNDERSIDE OF GARAGE TRUSSES AND INSULATE ATTIC SPACE W/ R-49.
22. GARAGE ATTIC ACCESS PANEL ABOVE, PROVIDE GASKET SEAL, TYPICAL.
23. WOOD STEPS W/ (3) RISERS AND (2) TREADS, PROVIDE METAL RAILING.
24. 20 MINUTE LABEL SOLID CORE DOOR W/ AUTO CLOSER AND SMOKE SEALS.
25. 10'-0" FLAT CEILING ABOVE.
26. BUILT-IN BENCH W/ STORAGE BELOW, WALL MOUNTED COAT HOOKS AND CUBBIES ABOVE, BUILDER TO COORDINATE.
27. WALL CABINET ABOVE.
28. BASE CABINET W/ TOP AND SPLASH.
29. 36" WIDE BROOM VAC. CABINET.
30. 20'X36" ATTIC ACCESS PANEL ABOVE, PROVIDE GASKET/ LEATHER STRIPPING AND R-49 INSULATION ON TOP.
31. 2X6 WALL AT WASHER/ DRYER, TYPICAL.
32. WASHER PROVIDE HOT/ COLD WATER SERVICE, WASHER BOX AND WASTE.
33. DRYER, PROVIDE WALL VENT BOX AND VENT TO EXTERIOR.
34. FLOOR DRAIN.
35. ROOF AND SHELF.
36. 13'-0" FLAT CEILING W/ 6X6 BOX BEAMS ABOVE.
37. VERTICAL SURFACE ABOVE.
38. PRE-BUILT WOOD W/ 1BR AND 1ST, FIELD BUILD LANDING, PROVIDE 2X6 BETWEEN STAIRS W/ RAILING ON TOP. ALL STAIR CONSTRUCTION PER CODE, TYPICAL.
39. DROPPED BEAM ABOVE, +0'-0" ABOVE 1ST FLOOR, WRAP W/ GYP BOARD.
40. ART NICHE - 3'-0"X3'-0"X4", SILL AT +3'-0" ABV. 1ST FL.
41. (3) FIXED SHELVES.
42. DOUBLE ROD AND SHELF.
43. FIELD BUILT SHOWER W/ PAN, WATERPROOF MEMBRANE, CEMENT BOARD, VAPOR BARRIER, TILE SURROUND, TEIFERED GLASS DOOR AND SLOPED BENCH W/ SOLID SURFACE ON CONCRETE BLOCK.
44. VANITY W/ TOP, LAV, SPLASH AND MIRROR ABOVE.
45. VAULTED CEILING W/ INTERIOR RIDGE ABOVE.
46. VAULTED CEILING AT 3/2 SLOPE.
47. (4) FIXED SHELVES.
48. VAULTED CEILING AT 4/2 SLOPE.
49. BUILT-IN AT STUDY, BUILDER TO COORDINATE W/ OWNER.
50. FLUE UP.
51. RESIDENTIAL ELEVATOR FROM 1ST FLOOR TO BASEMENT AS SELECTED BY OWNER. BUILDER TO VERIFY EXACT SHAFT SIZE W/ MANUFACTURER/ SUPPLIER, TYPICAL.
52. STEAM SHOWER EQUIPMENT, BUILDER TO COORDINATE.
53. FIELD BUILT STEAM SHOWER W/ PAN, WATERPROOF MEMBRANE, CEMENT BOARD, VAPOR BARRIER, TILE SURROUND, BENCH W/ SLOPED SOLID SURFACE TOP (EXTEND OVER AND PROVIDE DRIP), BENCH BASE TO BE CONC. BLOCK, DROP CEILING TO 8'-0" HIGH AND SLOPE TO CREATED DRIP LINE, PROVIDE TEIFERED GLASS ENCLOSURE, BUILDER TO COORDINATE.
54. VAULTED CEILING AT BATH 4/2 SLOPE, START VAULT IN BATH AREA AT 10'-1/8" HIGH WALLS AND SLOPE UP TO INTERIOR RIDGE AT 4/2.
55. BUILT-IN LINEN CABINET AT EACH VANITY ABOVE TOP, PROVIDE (3) ADJ. SHELVES.
56. 12'X36" FREE-STANDING TUB.
57. VAULT CEILING AT 4/2 SLOPE ABOVE TUB AREA, START VAULT IN TUB AREA AT 9'-1/8" HIGH WALLS AND SLOPE UP TO INT. RIDGE AT 4/2.
58. SHADED AREA INDICATES DROPPED CEILING ABOVE AT 10'-0" ABOVE KITCHEN FLOOR.
59. 48" WIDE REFRIGERATOR/ FREEZER COMBO UNIT.
60. MICROWAVE ABOVE.
61. DOUBLE SINK W/ DISPOSAL.
62. 24" W/ DISHWASHER.
63. APPROX. 12'-0"X18'-0" W/ ISLAND W/ SLAB TOP.
64. 48" WIDE RANGE W/ DOUBLE OVEN BELOW AND HOOD ABOVE, PROVIDE MAKEUP AIR AS REQUIRED, BUILDER TO COORDINATE.
65. KITCHEN/ DINING CEILING TO BE 12'-0" HIGH W/ 6X6 BOX BEAMS.
66. CORFERED CEILING AT GREAT ROOM, 10'-0" H, AT PERIMETER, STEP UP TO 11'-0" IN CENTER.
67. 48" W/ PRE-FABRICATED GAS FIREPLACE W/ STONE SURROUND AND STONE MANTEL, OWNER TO SELECT, BUILDER TO COORDINATE.
68. HOT TUB AS SUPPLIED BY OWNER, RECESSED INTO DECK, RE: STRUCTURAL FOR SUPPORTS.

**GENERAL NOTES**

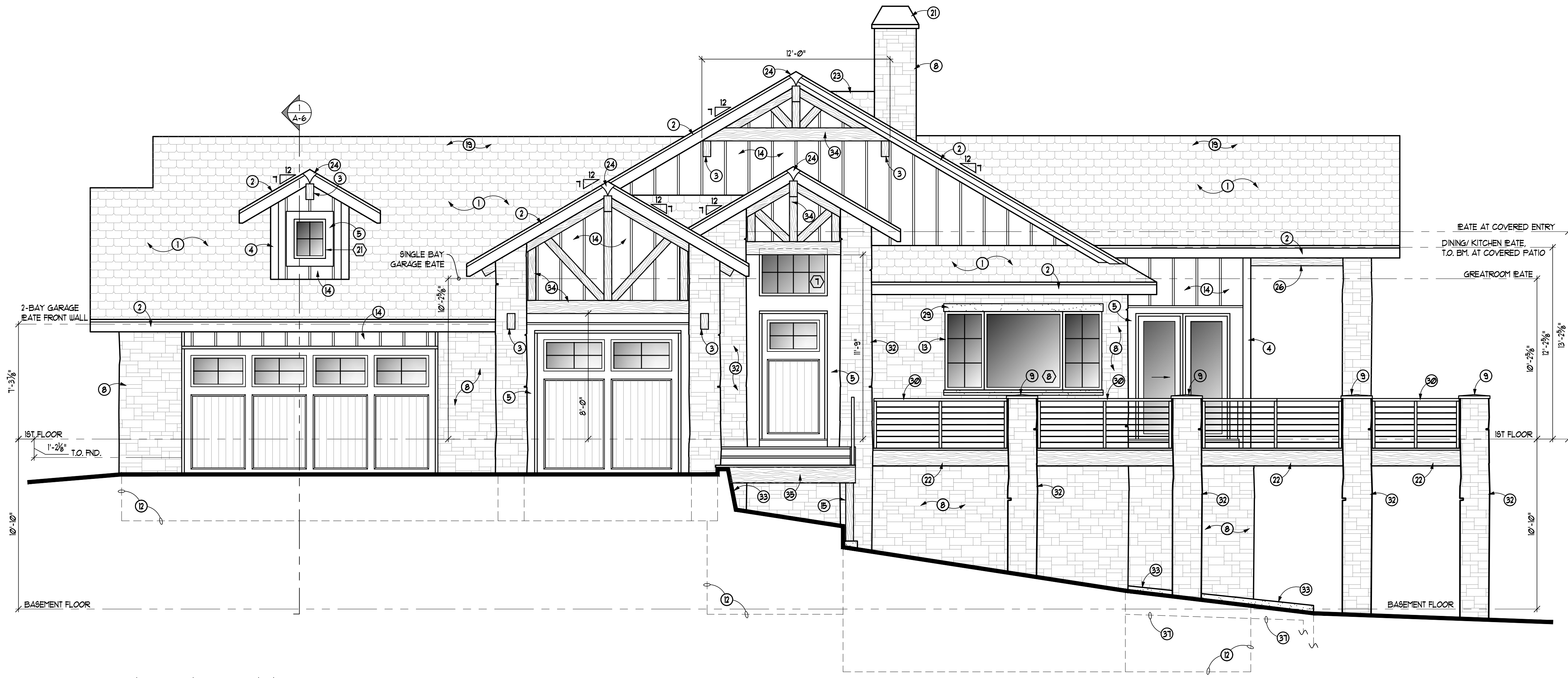
- ALL EXTERIOR WALLS TO BE 2X6'S AT 16" O.C. WITH R-19 INSULATION, VAPOR BARRIER, 1/8" OSB SHEATHING.
- OWNER TO SELECT ALL FINISHES FOR FLOORS, WALLS, CEILINGS, DOORS, TRIM, CABINETS, TOPS, ELEC. & PLUMBING FIXTURES, ETC., AS REQUIRED, WITH THE BUILDER TO COORDINATE.
- ALL WORK TO COMPLY WITH LOCAL CODES AND ORDINANCES, TYPICAL.

1 first floor plan  
 0 1' 2' 4'-0"

1st floor approx. = 2123 sq. ft.  
 garage = approx. = 1045 sq. ft.  
 decks/ covered entry = 1442 sq. ft.

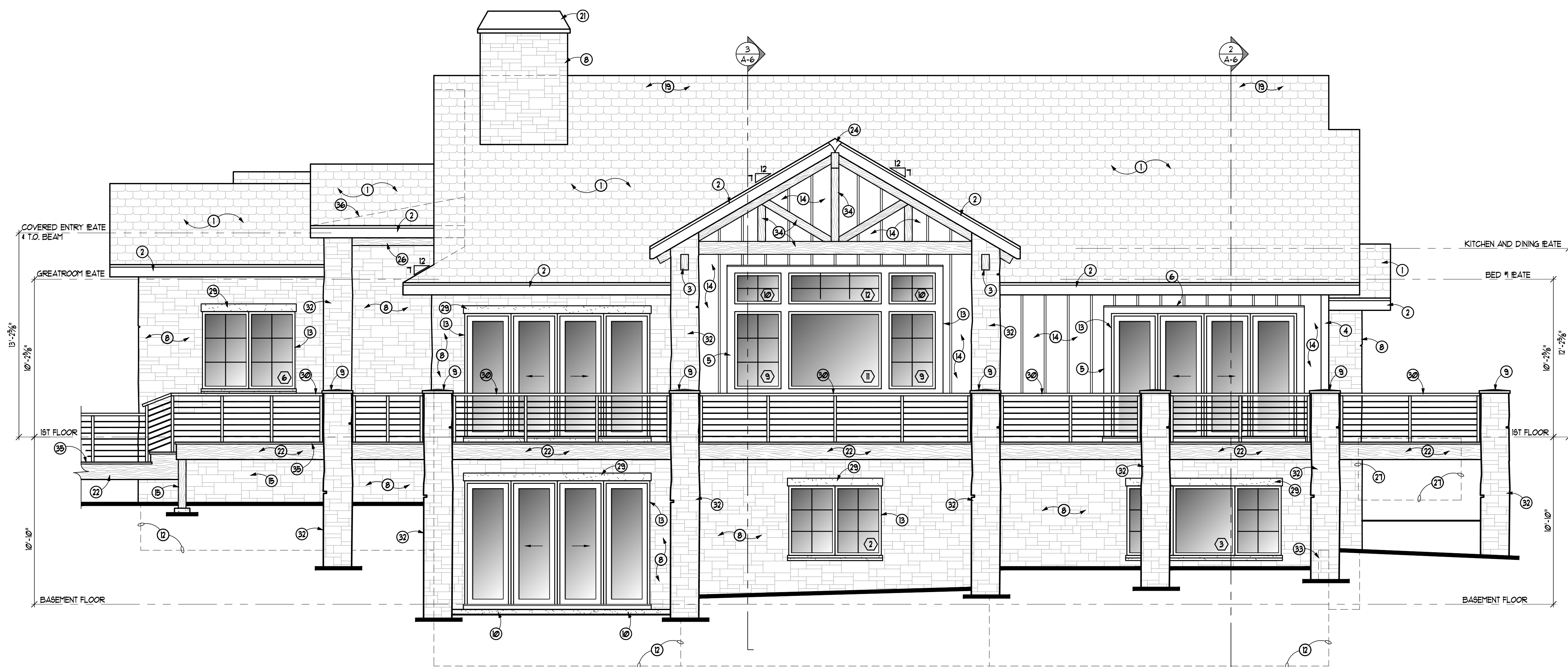
scale: 1/4" = 1'-0"





1 West/ Front Elevation  
 0 1' 2' 4'-0"

scale: 1/4" = 1'-0"



2 South/ Right Elevation  
 0 1' 2' 4'-0"

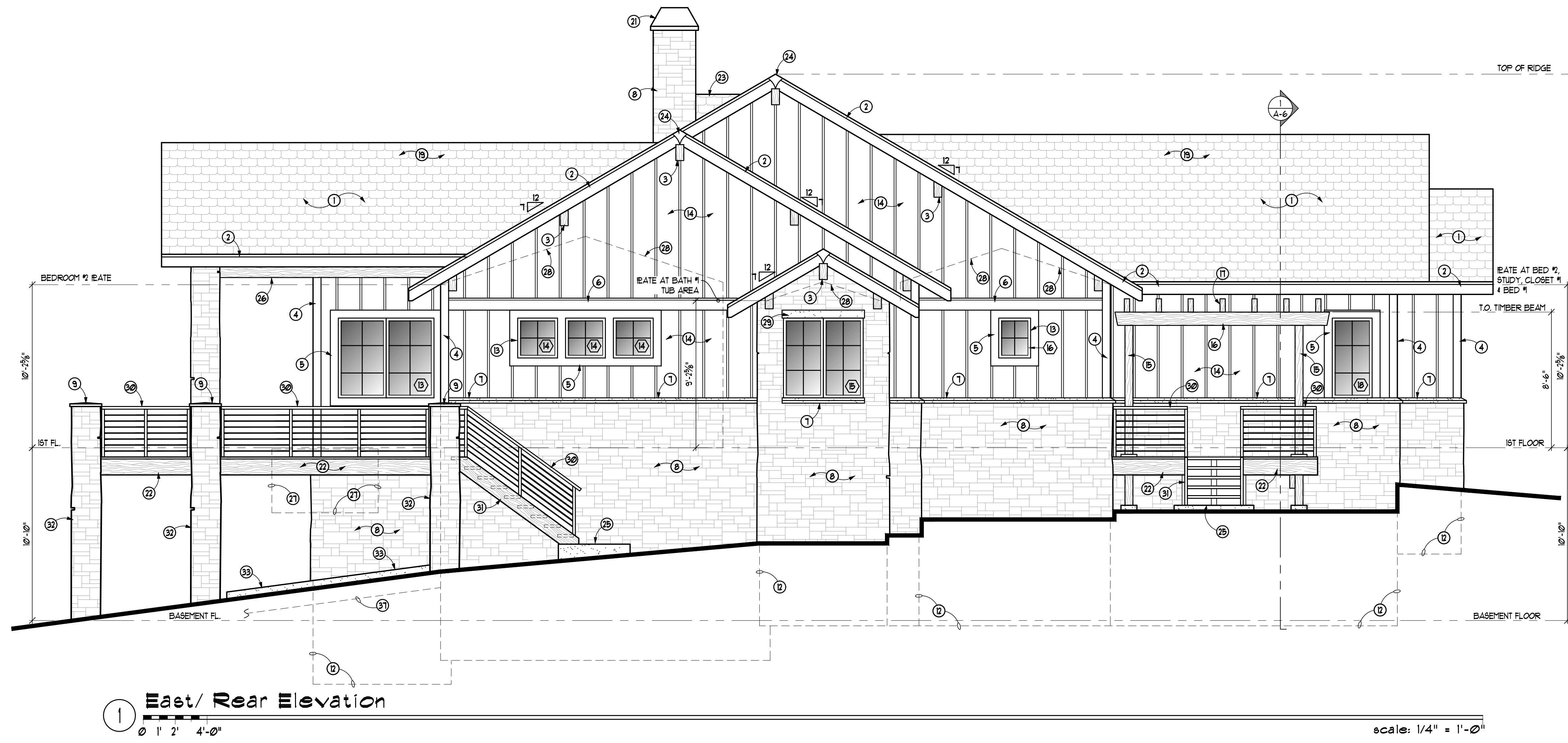
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**EXTERIOR ELEVATION KEY NOTES**

1. ASPHALT SHINGLES, CLASS 'W', TYPICAL ALL ROOFS.
2. 12" R.S. HARDIBOARD FASCIA, TYPICAL.
3. 6"x10" R.S. TIMBER DECO BEAM TAILS, TYPICAL.
4. 6" R.S. HARDIBOARD TRIM AT CORNERS, TYPICAL.
5. 6" R.S. HARDIBOARD TRIM AT DOORS AND WINDOWS, TYPICAL.
6. 10" R.S. HARDIBOARD HORIZONTAL TRIM W/ 'Z' FLASHING, TYP.
7. CONTINUOUS STONE SILL W/ FLASHING, EXTEND OVER STONE BELOW AND PROVIDE DRIP.
8. STONE VENEER SYSTEM AS SELECTED BY BUILDER, INSTALL PER MANUFACTURER SPEC'S, PROVIDE WEEPS, BASE FLASHING AND DRAINAGE BOARD PER MANUFACTURER, TYPICAL, BUILDER TO COORDINATE.
9. STONE CAP, EXTEND OVER STONE BELOW AND PROVIDE CONTINUOUS DRIP, TYPICAL.
10. CONCRETE PATIO SLAB, SLOPE FOR DRAINAGE.
11. PRECAST CONCRETE WINDOW WELL, W/ 3/8" MIN. CLEAR HORIZONTAL SPACE PER CODE, TYPICAL.
12. FOUNDATION RE STRUCTURAL, TYPICAL.
13. PROVIDE FLASHING WRAP TAPE AT ALL DOORS AND WINDOWS, TYPICAL.
14. HARDIBOARD VERTICAL BOARD AND R.S. BATTEN SIDING, TYP.
15. R.S. 6"x6" TIMBER POST.
16. R.S. 6"x10" TIMBER BEAM.
17. R.S. 4"x10" TIMBER RAFTER AT 24" O.C.
18. R.S. 4"x10" LEDGER, BOLT TO STRUCTURE, PROVIDE CAP FLASHING AT TOP.
19. VENT ALL ROOFS PER CODE, BUILDER TO COORDINATE.
20. DASHED LING INDICATES BOTTOM CHORD OF TRUSS AT 2-BAY GARAGE CEILING.
21. PRE-FINISHED METAL FLUE SCREEN EXTEND OVER STONE BELOW AND PROVIDE CONTINUOUS DRIP, TYPICAL.
22. 2" R.S. HARDIBOARD DECK SKIRT, TYPICAL.
23. SADDLE.
24. HARDIBOARD KITE TRIM, TYPICAL.
25. CONCRETE STOOP.
26. BEAM WRAP W/ HARDITRIM, TYPICAL.
27. LINE OF RECESSED HOT TUB, WRAP W/ FIRE RESISTIVE FRAMING AND HARDIBOARD TRIM, SEE STRUCTURAL FOR FRAMING.
28. VAULTED CEILING LINE INSIDE.
29. STONE LINTEL W/ FLASHING.
30. 36" HIGH RAILING, 2X2 TUBE STEEL FRAME W/ 3/4" SQ. HORIZONTAL BALUSTERS AT 4X/O.C., POWDER COAT FINISH.
31. TIMBER STAIR - (3) 4X12 STRINGERS AND 3X12 TREADS, PROVIDE HARDITRIM AT EXTERIOR FACE OF STRINGERS.
32. DECK COLUMNS - 2X6 FIRE RESISTIVE EXT. STUDS WRAP W/ FIRE RESISTIVE EXT. PLYWOOD SHEATHING, WRAP W/ ICE/ WATER SHIELD AND WR.B. WRAP W/ STONE VENEER SYSTEM AND PROVIDE DRAINAGE BOARD AND WEEP HOLES PER MANUFACTURER SPECIFICATIONS, TYPICAL ALL DECK COLUMNS.
33. STONE RETAINING WALL AS REQUIRED, SLOPE W/ GRADE AS REQUIRED, BUILDER TO COORDINATE.
34. R.S. TIMBER TRUSS - 6X12 BOTTOM CHORD, 6X12 SLOPED TOP CHORD, 6X6 RIDGE BEAM, 6X6 KING POST AND 6X6 WEBS, TYPICAL.
35. WALKWAY DECK AND STEPS W/ METAL RAILING AND 6X6 TIMBER SUPPORT POSTS, ALL JOIST, SKIRT AND DECKING TO BE FIRE RESISTIVE, TYPICAL.
36. LINE OF CRICKET BEYOND.
37. LINE OF WALKOUT PATIO SLAB BEHIND WALL.

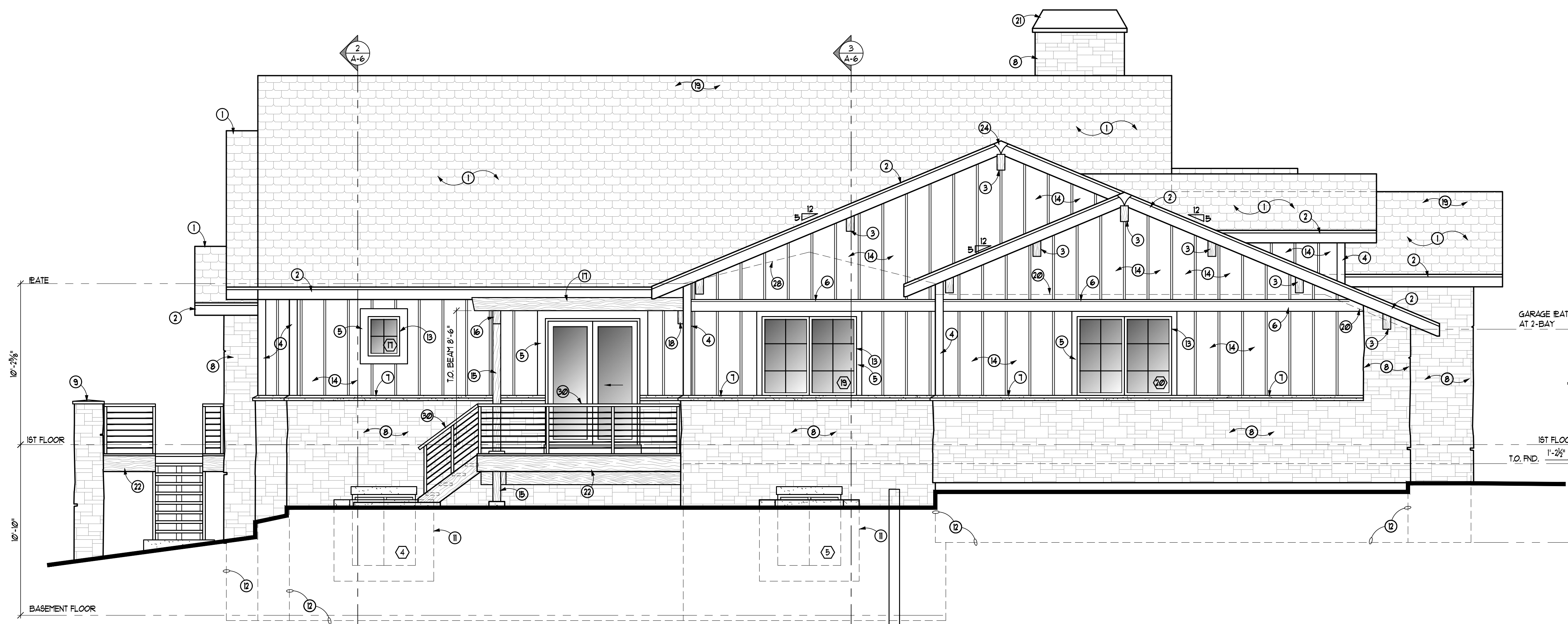
**EXTERIOR ELEVATION GENERAL NOTES**

- BUILDER TO VENT ALL ROOFS PER CODE, BUILDER TO SELECT METHOD OF VENTING AND NUMBER OF VENTS REQUIRED.
- PROVIDE ALL FLASHING AS REQUIRED FOR WEATHER TIGHT CONSTRUCTION, INSTALL AND DETAIL PER SMACNA STANDARDS.
- SLOPE GRADE AWAY FROM FOUNDATION PER SOILS REPORT.
- INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS AND PER CODES, BUILDER TO COORDINATE.
- WINDOW ROUGH OPENINGS TO BE VERIFIED WITH WINDOW SUPPLIER AND BUILDER TO COORDINATE.
- BUILDER TO COORDINATE ALL EXTERIOR LIGHTING.
- PROVIDE TEMPERED GLASS AT ALL SIDELIGHTS, EXTERIOR DOORS HAVING GLAZING AND WINDOWS AS REQUIRED BY LOCAL CODES, TYPICAL, BUILDER TO COORDINATE.
- BUILDER TO PROVIDE AND INSTALL GUTTERS AND DOWNSPOUTS AS REQUIRED, PAINT TO MATCH ADJACENT SURFACES, BUILDER TO COORDINATE.



1 East/Rear Elevation  
0' 1' 2' 4'-0"

scale: 1/4" = 1'-0"



2 North/Left Side Elevation  
0' 1' 2' 4'-0"

scale: 1/4" = 1'-0"

**EXTERIOR ELEVATION KEY NOTES**

1. ASPHALT SHINGLES, CLASS 'A', TYPICAL ALL ROOFS.
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3. 6"x10" R.S. TIMBER DECO BEAM TAILS, TYPICAL.
4. 6" R.S. HARDIBOARD TRIM AT CORNERS, TYPICAL.
5. 6" R.S. HARDIBOARD TRIM AT DOORS AND WINDOWS, TYPICAL.
6. 10" R.S. HARDIBOARD HORIZONTAL TRIM W/ 'Z' FLASHING, TYP.
7. CONTINUOUS STONE SILL W/ FLASHING, EXTEND OVER STONE BELOW AND PROVIDE DRIP.
8. STONE VENEER SYSTEM AS SELECTED BY BUILDER, INSTALL PER MANUFACTURER SPEC'S, PROVIDE WEEPS, BASE FLASHING AND DRAINAGE BOARD PER MANUFACTURER, TYPICAL BUILDER TO COORDINATE.
9. STONE CAP, EXTEND OVER STONE BELOW AND PROVIDE CONTINUOUS DRIP, TYPICAL.
10. CONCRETE PATIO SLAB, SLOPE FOR DRAINAGE.
11. PRECAST CONCRETE WINDOW WELL, W/ 3/8" MIN. CLEAR HORIZONTAL SPACE PER CODE, TYPICAL.
12. FOUNDATION, RE STRUCTURAL, TYPICAL.
13. PROVIDE FLASHING WRAP TAPE AT ALL DOORS AND WINDOWS, TYPICAL.
14. HARDIBOARD VERTICAL BOARD AND R.S. BATTEN SIDING, TYP.
15. R.S. 6"x6" TIMBER POST.
16. R.S. 6"x10" TIMBER BEAM.
17. R.S. 4"x10" TIMBER RAFTER AT 24" O.C.
18. R.S. 4"x10" LEDGER, BOLT TO STRUCTURE, PROVIDE CAP FLASHING AT TOP.
19. VENT ALL ROOFS PER CODE, BUILDER TO COORDINATE.
20. DASHED LING INDICATES BOTTOM CHORD OF TRUSS AT 2-BAY GARAGE CEILING.
21. PRE-FINISHED METAL FLUE SCREEN, EXTEND OVER STONE BELOW AND PROVIDE CONTINUOUS DRIP, TYPICAL.
22. 2" R.S. HARDIBOARD DECK SKIRT, TYPICAL.
23. SADDLE.
24. HARDIBOARD KITE TRIM, TYPICAL.
25. CONCRETE STOOP.
26. BEAM WRAP W/ HARDITRIM, TYPICAL.
27. LINE OF RECESSED HOT TUB, WRAP W/ FIRE RESISTIVE FRAMING AND HARDIBOARD TRIM, SEE STRUCTURAL FOR FRAMING.
28. VAULTED CEILING LINE INSIDE.
29. STONE LINTEL W/ FLASHING.
30. 38" HIGH RAILING, 2X2 TUBE STEEL FRAME W/ 3/4" SQ. HORIZONTAL BALUSTERS AT 4X O.C., POWDER COAT FINISH.
31. TIMBER STAIRS - (3) 4X12 STRINGERS AND 3X12 TREADS, PROVIDE HARDITRIM AT EXTERIOR FACE OF STRINGERS.
32. DECK COLUMNS - 2X6 FIRE RESISTIVE EXT. STUDS WRAP W/ FIRE RESISTIVE EXT. FLYWOOD SHEATHING, WRAP W/ ICE/WATER SHIELD AND WR.B., WRAP W/ STONE VENEER SYSTEM AND PROVIDE DRAINAGE BOARD AND WEEP HOLES PER MANUFACTURER SPECIFICATIONS, TYPICAL ALL DECK COLUMNS.
33. STONE RETAINING WALL AS REQUIRED, SLOPE W/ GRADE AS REQUIRED, BUILDER TO COORDINATE.
34. R.S. TIMBER TRUSS - 6X12 BOTTOM CHORD, 6X12 SLOPED TOP CHORD, 6X6 RIDGE BEAM, 6X6 KING POST AND 6X6 WEBS, TYPICAL.
35. WALKWAY DECK AND STEPS W/ METAL RAILING AND 6X6 TIMBER SUPPORT POSTS, ALL JOIST, SKIRT AND DECKING TO BE FIRE RESISTIVE, TYPICAL.
36. LINE OF CRICKET BEYOND.
37. LINE OF GRADE BEHIND WALL.

**EXTERIOR ELEVATION GENERAL NOTES**

- BUILDER TO VENT ALL ROOFS PER CODE, BUILDER TO SELECT METHOD OF VENTING AND NUMBER OF VENTS REQUIRED.
- PROVIDE ALL FLASHING AS REQUIRED FOR WEATHER TIGHT CONSTRUCTION, INSTALL AND DETAIL PER SMACNA STANDARDS.
- SLOPE GRADE AWAY FROM FOUNDATION PER SOILS REPORT.
- INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS AND PER CODES, BUILDER TO COORDINATE.
- WINDOW ROUGH OPENINGS TO BE VERIFIED WITH WINDOW SUPPLIER AND BUILDER TO COORDINATE.
- BUILDER TO COORDINATE ALL EXTERIOR LIGHTING.
- PROVIDE TEMPERED GLASS AT ALL SIDELIGHTS, EXTERIOR DOORS HAVING GLAZING AND WINDOWS AS REQUIRED BY LOCAL CODES, TYPICAL, BUILDER TO COORDINATE.
- BUILDER TO PROVIDE AND INSTALL GUTTERS AND DOWNSPOUTS AS REQUIRED, PAINT TO MATCH ADJACENT SURFACES, BUILDER TO COORDINATE.

JOB # 202106

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1/15/2022

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